

# 1050 MARKHAM ROAD

## TORONTO, ON

### CLIENT

## CAPREIT

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### ARCHITECT

## WALLMAN ARCHITECTS

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## ISSUED FOR ZBA:

JUNE 07, 2024

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Project  
**1050 Markham Road**

1050 Markham Road,  
Toronto, Ontario, M1H 2Y5

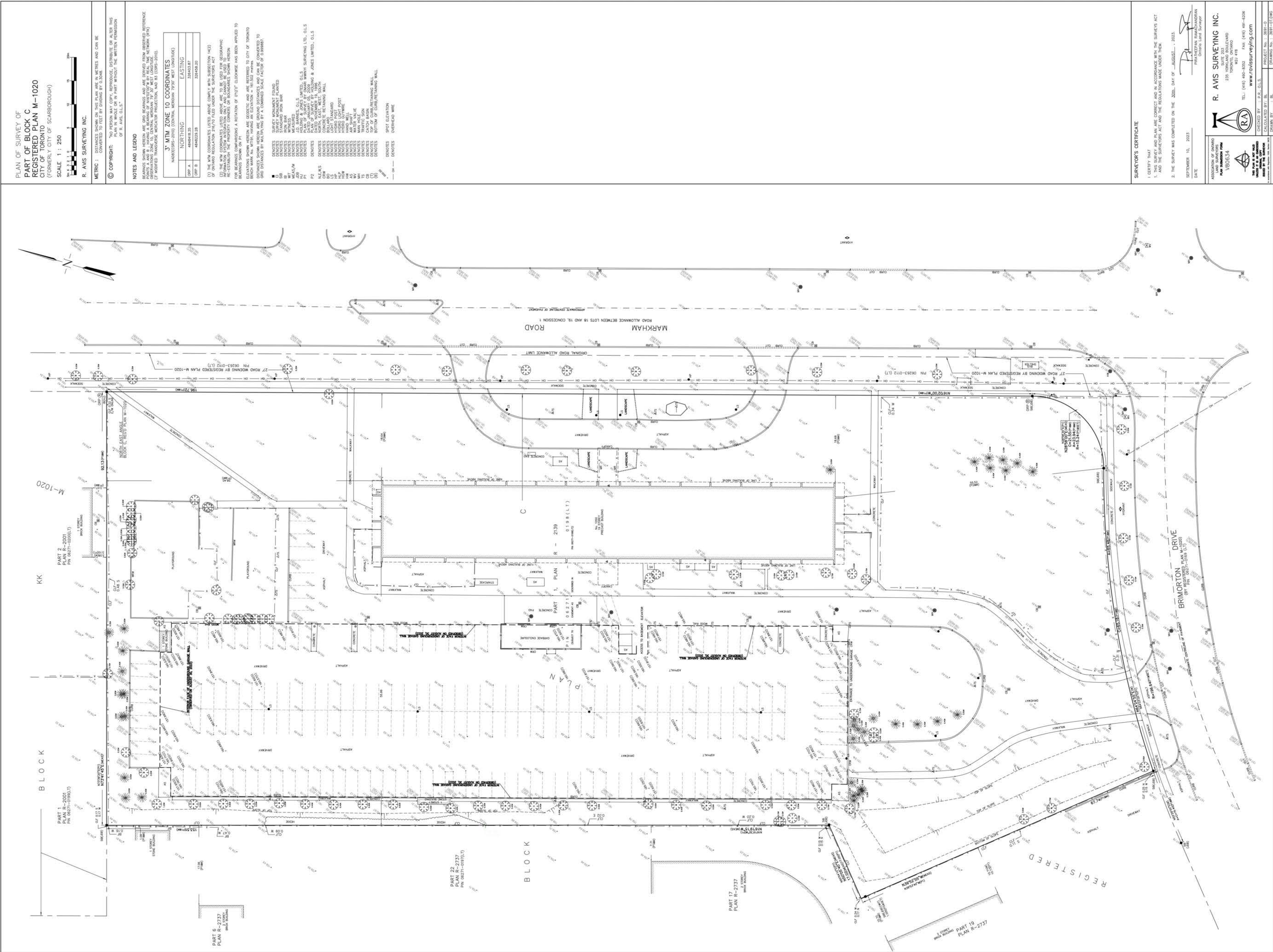
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1050 Markham Road

Project Statistics

June 6, 2024

BUILDING INFORMATION

Building Height: 37 Storey + 15 Storey

Site Stats		By law 569-2013
Gross Site Area		19,880.2 m <sup>2</sup>
Net Development Site Area (South Side)		5,151.6 m <sup>2</sup>
Building A & B Combined GFA		39,911.1 m <sup>2</sup>
FSI of New Development		7.7

STATISTICAL SUMMARY		GCA		GFA		PARKING COUNT
	UNIT COUNT	(m <sup>2</sup> )	(sf)	(m <sup>2</sup> )	(sf)	
BUILDING A (37 Storeys)	438	35,982.4	387,311	27,469.1	295,674	106
BUILDING B (15 Storeys)	197	19,998.4	204,498	12,442.1	133,926	103
COMBINED	635	54,980.8	591,809	39,911.1	429,600	208
						0.33

PARKING REQUIRED (ZBL 89-2022 PARKING ZONE B)					
(Refer to Traffic Report prepared by LEA for additional detail)					
	Unit Count	Min. Required Spaces	Max. Allowed Spaces	Required Accessible Spaces	
		Rate	Total	Rate	Total
BUILDING A	304		0	0.8	243.2
1-Bedroom	89		0	0.9	80.1
2-Bedroom	45		0	1.1	49.5
3-Bedroom					373
RESIDENTIAL SUBTOTAL					
Visitor Spaces	438	2 + 0.05*unit	23.9	48	
TOTAL (Bldg A)			23.9	421	12
BUILDING B					
1-Bedroom	146		0	0.8	116.8
2-Bedroom	32		0	0.9	28.8
3-Bedroom	19		0	1.1	20.9
RESIDENTIAL SUBTOTAL			0	167	7
Visitor Spaces	197	2 + 0.05*unit	11.9	24	
TOTAL (Bldg B)			11.9	191	7

BICYCLE PARKING REQUIRED (ZBL 569-2013 BIKE ZONE B)				
	Unit Count	Bike Spaces per unit	Min. Required	
BUILDING A				
Short Term Spaces	438	x	0.07	31
Long Term Spaces	438	x	0.68	298
TOTAL (Bldg A)				329
BUILDING B				
Short Term Spaces	197	x	0.07	14
Long Term Spaces	197	x	0.68	134
TOTAL (Bldg B)				148

AMENITY AREA BREAKDOWN					
	Unit Count	Indoor Amenity		Outdoor Amenity	
		(m <sup>2</sup> )	(sf)	(m <sup>2</sup> )	(sf)
BUILDING A					
LEVEL 1		313.3	3,372	297.9	3,206
LEVEL 2		458.1	4,931	153.7	1,654
TOTAL (Bldg A)	438	771.39	8,303	451.6	4,861
BUILDING B					
LEVEL 1		199.6	2,148	708.8	7,630
LEVEL 2		306.4	3,298	123.77	1,332
TOTAL (Bldg B)	197	505.95	5,446	832.6	8,962
COMBINED TOTAL (BLDG A + B)	635	1277.3	13,749	1284.2	13,823
		\$q. m PER UNIT	2.0	2.0	

Green Roof GFA		Deductions
	(m <sup>2</sup> )	
GCA	54,980.8	
Loading Area	104.0	
Parking Area	7,785.9	
Total	47,991.0	

PARKING PROVIDED					
LEVEL	RESIDENTIAL		VISITOR		TOTAL
	Accessible	Typical	Accessible	Typical	
BUILDING A					
L1	0	0	0	0	0
P1	0	0	2	9	36
P2	5	39	0	0	44
P3	5	33	0	0	38
Sub-Total	10	72	2	21	105
TOTAL (Bldg A)	82	72	23	21	105
Ratio/Unit	0.19		0.05		0.24
BUILDING B					
L1	0	0	0	0	0
P1	0	25	2	9	36
P2	5	48	0	0	53
P2 Lower	0	14	0	0	14
Sub-Total	5	87	2	9	109
TOTAL (Bldg B)	92	87	11	9	109
Ratio/Unit	0.47		0.06		0.52

BICYCLE PARKING PROVIDED				
	Level 1	P1 Level	P2 Level	P3/P2 Lower Level
BUILDING A				
Short Term Spaces	4	28		32
Long Term Spaces		162	42	95
TOTAL (Bldg A)				331
BUILDING B				
Short Term Spaces	20	0		20
Long Term Spaces		30	86	31
TOTAL (Bldg B)				147

LOADING / WASTE MANAGEMENT			
	Required Rate/Formula	MIN REQUIRED (m2)	PROVIDED (m2)
BUILDING A			
Waste Storage Room	[(Unit Count-50)x0.26]+25	125.9	136.1
Household Hazardous Waste Ri	1sqm for every 100 units	4.4	
Bulky Waste Storage	Min 10um	10.0	10.0
Staging Area	[(Unit Count-50)/50]x5+5	43.8	44.5
BUILDING B			
Waste Storage Room	[(Unit Count-50)x0.26]+25	63.2	142.2
Household Hazardous Waste Ri	1sqm for every 100 units	2.0	
Bulky Waste Storage	Min 10um	10.0	10.0
Staging Area	[(Unit Count-50)/50]x5+5	19.7	58.4
EXISTING 19 STOREY BLDG (295 UNITS)			
Waste Storage Room	[(Unit Count-50)x0.26]+25	88.7	
Staging Area	[(Unit Count-50)/50]x5+5	29.5	

Building B Waste Storage Room sized to provide waste storage for organics and garbage bins from the existing building

Building B Staging Area sized to provide loading for Building B + Existing 19 storey building

BUILDING A - 37 Storeys											
Levels						GCA		Deductions (Bylaw 569-2013)			
						(m <sup>2</sup> )	(sf)	Amenity	Elevators	Exit Stairs	Garb Chute
Parking	P1					1,790.5	19,273	(m <sup>2</sup> )	(m <sup>2</sup> )	(m <sup>2</sup> )	MISC
Parking	P2					1,790.5	19,273				
Parking	P3					1,790.5	19,273				
Total Below Grade						5,371.5	57,819				
UNIT SUMMARY											
Levels	STUDIO	1B	1B+D	2B	2B* (inbound)	3B	Total Units	GCA			
								(m <sup>2</sup> )	(sf)		
Lobby / Amenity	1	0	0	2	0	0	3	1,322.9	14,239		
Residential / Amenity	2	0	1	2	1	2	7	1,156.2	12,445		
Residential (Podium)	3	0	5	0	2	4	3	1,097.0	11,808		
Residential (Podium)	4	0	5	0	2	4	3	1,097.0	11,808		
Residential (Podium)	5	0	5	0	2	4	3	1,097.0	11,808		
Residential (Podium)	6	0	5	0	2	4	3	1,097.0	11,808		
Residential	7	0	6	3	2	0	1	751.0	8,084		
Residential	8	0	6	3	2	0	1	751.0	8,084		
Residential	9	0	6	3	2	0	1	751.0	8,084		
Residential	10	0	6	3	2	0	1	751.0	8,084		
Residential	11	0	6	3	2	0	1	751.0	8,084		
Residential	12	0	6	3	2	0	1	751.0	8,084		
Residential	13	0	6	3	2	0	1	751.0	8,084		
Residential	14	0	6	3	2	0	1	751.0	8,084		
Residential	15	0	6	3	2	0	1	751.0	8,084		
Residential	16	0	6	3	2	0	1	751.0	8,084		
Residential	17	0	6	3	2	0	1	751.0	8,084		
Residential	18	0	6	3	2	0	1	751.0	8,084		
Residential	19	0	6	3	2	0	1	751.0	8,084		
Residential	20	0	6	3	2	0	1	751.0	8,084		
Residential	21	0	6	3	2	0	1	751.0	8,084		
Residential	22	0	6	3	2	0	1	751.0	8,084		
Residential	23	0	6	3	2	0	1	751.0	8,084		
Residential	24	0	6	3	2	0	1	751.0	8,084		
Residential	25	0	6	3	2	0	1	751.0	8,084		
Residential	26	0	6	3	2	0	1	751.0	8,084		
Residential	27	0	6	3	2	0	1	751.0	8,084		
Residential	28	0	6	3	2	0	1	751.0	8,084		
Residential	29	0	6	3	2	0	1	751.0	8,084		
Residential	30	0	6	3	2	0	1	751.0	8,084		
Residential	31	0	6	3	2	0	1	751.0	8,084		
Residential	32	0	6	3	2	0	1	751.0	8,084		
Residential	33	0	6	3	2	0	1	751.0	8,084		
Residential	34	0	6	3	2	0	1	751.0	8,084		
Residential	35	0	6	3	2	0	1	751.0	8,084		
Residential	36	0	6	3	2	0	1	751.0	8,084		
Residential Penthouse	37	0	6	3	2	0	1	751.0	8,084		
Mechanical Penthouse								462.1	4,974		
Total Above Grade		0	207	97	71	18	45	438	30,610.9	329,493	
Average Unit Size (sf)		0.0%	47.3%	22.1%	16.2%	4.1%	10.3%				
Total Above & Below Grade		0%	69%	509	20.3%	16.2%	882				
		0						35,982.4	387,311		

BUILDING B - 15 Storeys											
Levels						GCA		Deductions (Bylaw 569-2013)			
						(m <sup>2</sup> )	(sf)	Amenity	Elevators	Exit Stairs	Garb Chute
Parking	P1					2,327.0	25,048	(m <sup>2</sup> )	(m <sup>2</sup> )	(m <sup>2</sup> )	MISC
Parking	P2					2,327.0	25,048				
Total Below Grade						4,654.0	50,095				
UNIT SUMMARY											
Levels	STUDIO	1B	1B+D	2B	2B* (inbound)	3B	Total Units	GCA			
								(m <sup>2</sup> )	(sf)		
Lobby / Amenity	1	0	2	4	0	0	1	7	1434.6	15,442	
Residential / Amenity	2	0	2	3	2	2	1	10	1267.2	13,640	
Residential (Lower Podium)	3	0	4	4	2	4	3	17	1204.0	12,960	
Residential (Lower Podium)	4	0	7	6	2	2	1	18	1204.0	12,960	
Residential (Lower Podium)	5	0	8	4	0	0	2	14	904.0	9,730	
Residential (Upper Podium)	6	0	8	4	0	0	2	14	904.0	9,730	
Residential	7	0	7	3	2	0	1	13	776.0	8,352	
Residential	8	0	7	3	2	0	1	13	776.0	8,352	
Residential	9	0	7	3	2	0	1	13	776.0	8,352	
Residential	10	0	7	3	2	0	1	13	776.0	8,352	
Residential	11	0	7	3	2	0	1	13	776.0	8,352	
Residential	12	0	7	3	2	0	1	13	776.0	8,352	
Residential	13	0	7	3	2	0	1	13	776.0	8,352	
Residential	14	0	7	3	2	0	1	13	776.0	8,352	
Residential	15	0	7	3	2	0	1	13	776.0	8,352	
Mechanical Penthouse								443.2	4,770		
Total Above Grade		0	94	52	24	8	19	197	14,344.4	154,402	
Average Unit Size (sf)		0.0%	47.7%	26.4%	12.2%	4.1%	9.6%				
Total Above & Below Grade		0%	74%	498	16.2%	9.6%	906				
		0						18,998.4	204,498		

1050 Markham Existing Total Units	295
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Mid to High Rise Residential and  
all New Non-Residential Development

The Toronto Green Standard Version 4.0 Statistics Template is submitted with Site Plan Control Applications and stand-alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1.  
For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.  
For further information, please visit [www.toronto.ca/greendevlopment](http://www.toronto.ca/greendevlopment)

General Project Description	Proposed
Total Gross Floor Area	39,911.1
Breakdown of project components (m²):	
Residential	39,911.1
Retail	
Commercial	
Industrial	
Institutional/Other	
Total number of residential units	635

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Low Emissions Transportation	Required	Proposed	Proposed %
Number of Parking Spaces	34	208	612%
Number of EV Parking Spaces (Residential)	174	174	100%
Number of EV Parking Spaces (non-residential)	0	0	

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (all-uses)	432	446	103%
Number of long-term bicycle parking located on:			
a) first storey of building		0	
b) second storey of building		0	
c) first level below-ground		192	
d) second level below-ground		128	
e) other levels below-ground		126	



Mid to High Rise Residential and  
all New Non-Residential Development

Landscaping & Biodiversity	Required	Proposed	Proposed %
d) shade from high-albedo structures			
e) shade from energy generation structures			
Percentage of Lot Area as Soft Landscaping (non-residential only)			
Total number of plants			
Total number of native plants and % of total plants			
Available Roof Space (m²)			
Available Roof Space provided as Green Roof (m²)			
Available Roof Space provided as Cool Roof (m²)		-	
Available Roof Space provided as Solar Panels (m²)		-	

Bird Collision Deterrence	Required	Proposed	Proposed %
Total area of glazing of all elevations within 1.6m above grade			
Total area of treated glazing (minimum 85% of total area of glazing within 1.6m above grade) (m²)			
Percentage of glazing within 1.6m above grade treated with:			
a) Visual markers			
b) non-reflective glass			
c) Building integrated structures			



Mid to High Rise Residential and  
all New Non-Residential Development

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces	45	50	111%
Number of shower and change facilities (non-residential)	N/A	0	

Tree Canopy	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area + 66 m2 x 30 m³)	936.65	937.05	100%
Soil volume provided within the site area (m³)		241.05	26%
Soil Volume provided within the public boulevard (m³)		696	74%

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade			
Number of publicly accessible bicycle parking spaces			
Number of energized outlets for electric bicycles			

Tree Canopy	Required	Proposed	Proposed %
Total site area (m²)			
Total Soil Volume (40% of the site area + 66 m² x 30 m³)			
Total number of trees planted			
Number of surface parking spaces (if applicable)		-	
Number of shade trees located in surface parking area		-	

Landscaping & Biodiversity	Required	Proposed	Proposed %
Total non-roof hardscape area (m²)			
Total non-roof hardscape area treated for Urban Heat Island (minimum residential 75% or non-residential 50%) (m²)			
Area of non-roof hardscape treated with: (indicate m²)			
a) high-albedo surface material			
b) open-grid pavement			
c) shade from tree canopy			

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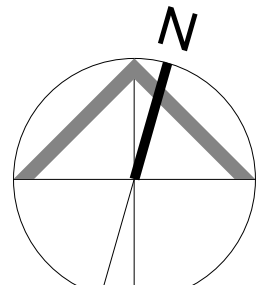
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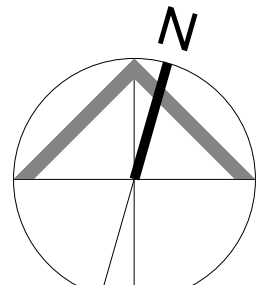
## CONTEXT PLAN

## A1.04



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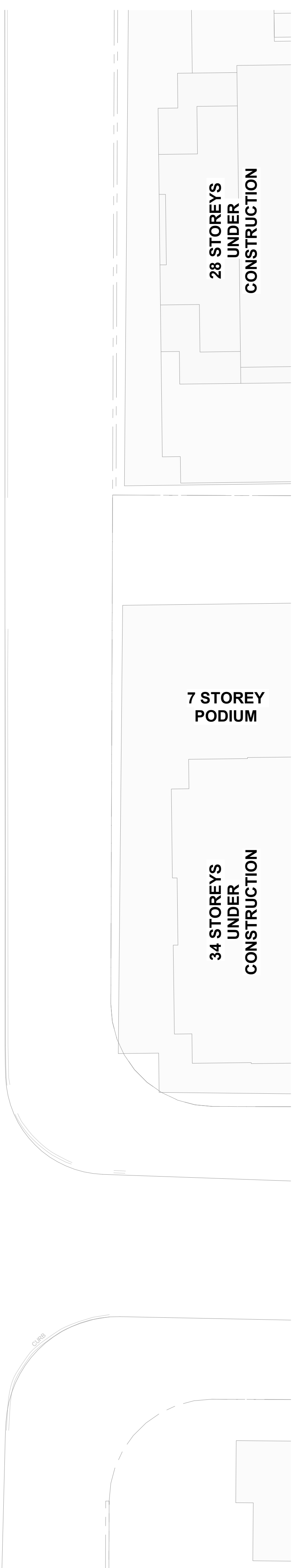


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	Checked by
23-11	Project No.
2024-06-07	Date
	Drawing No.

## A1.06





No	Issued For	Date
1	Issued for ZBA	2024-06-07

Drawing Title	
SITE PLAN - ROOF PLAN	
1 : 250	Scale
Drawn by	
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Drawing No.	

## A1.10



**CEILING OR WALL HUNG AT A HIGH LEVEL AT ALL RIGHT-ANGLES AND AT THE TOP AND BOTTOM OF ALL RAMPS. POSITIONED TO ENSURE MOTORISTS HAVE CLEAR VIEWS OF ONCOMING TRAFFIC.**

- Drawing No.

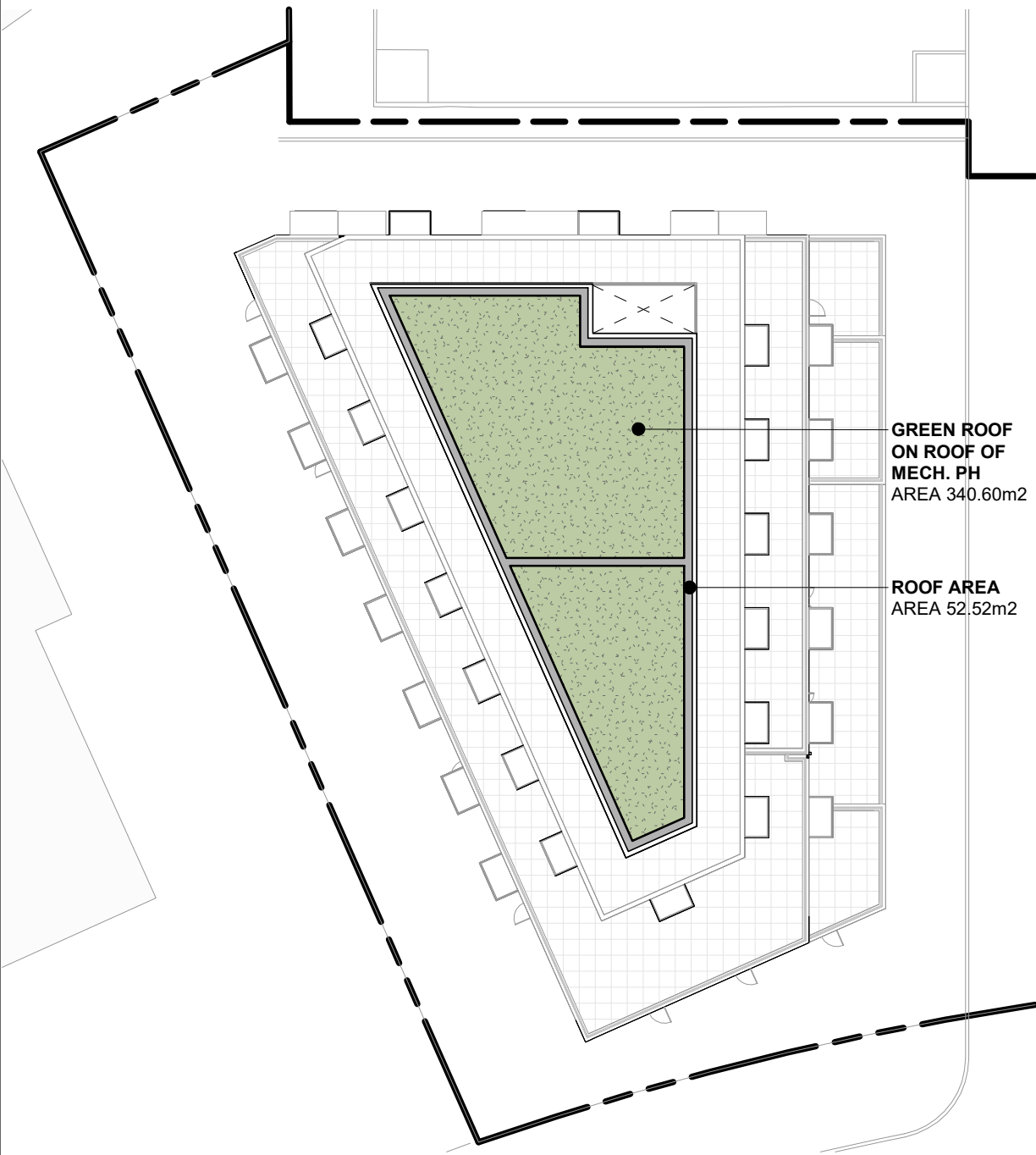
## A1.11



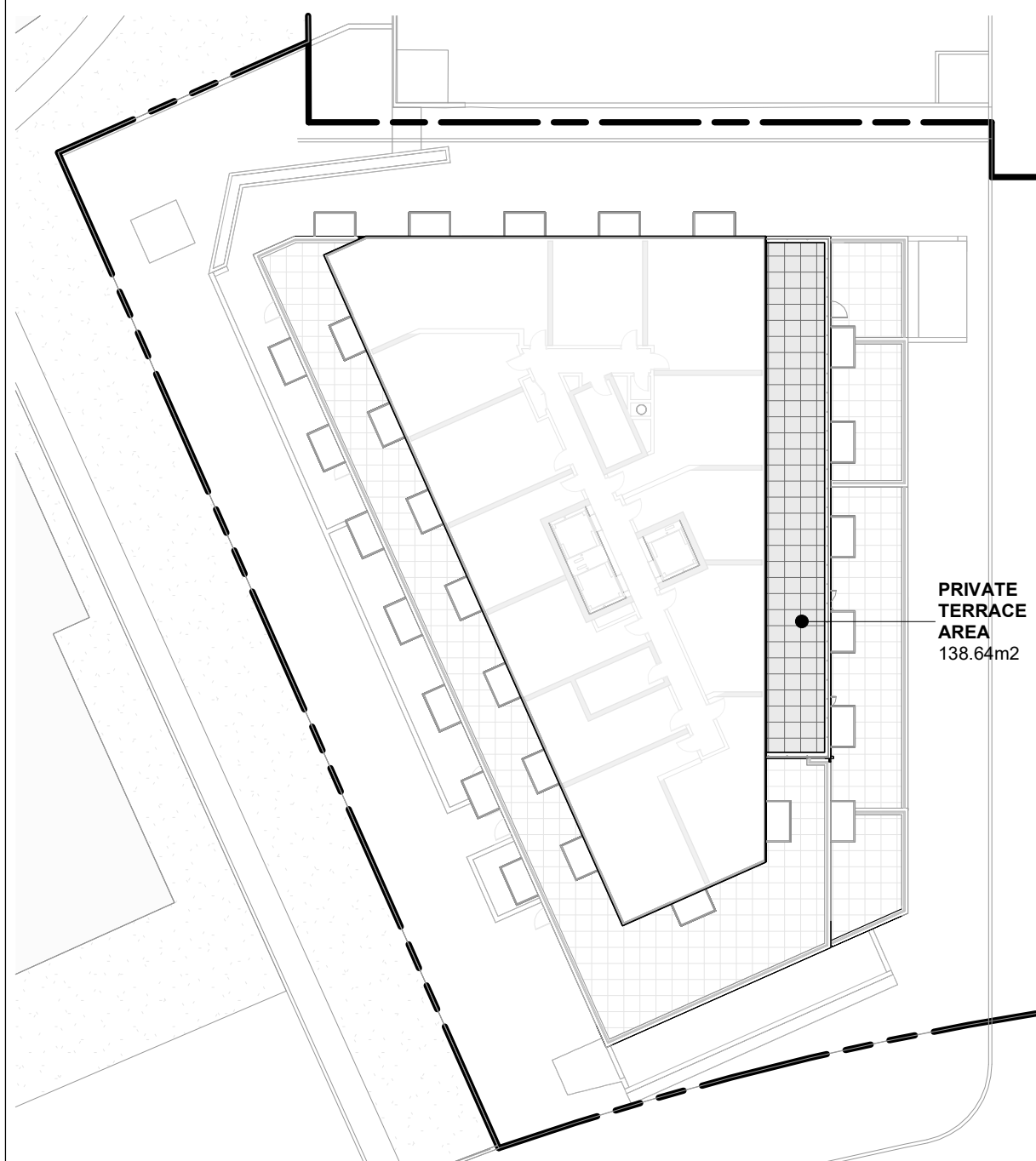




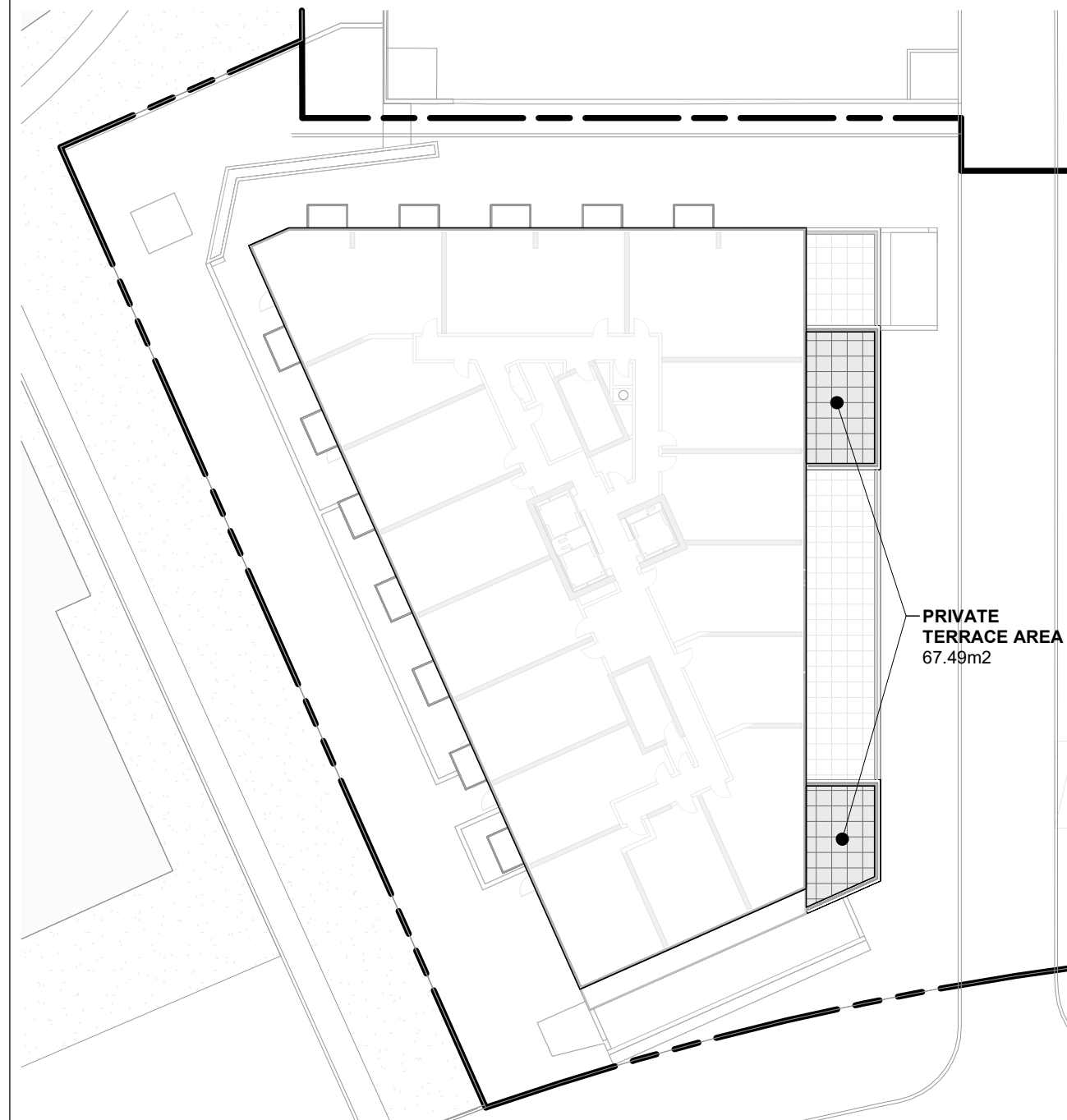
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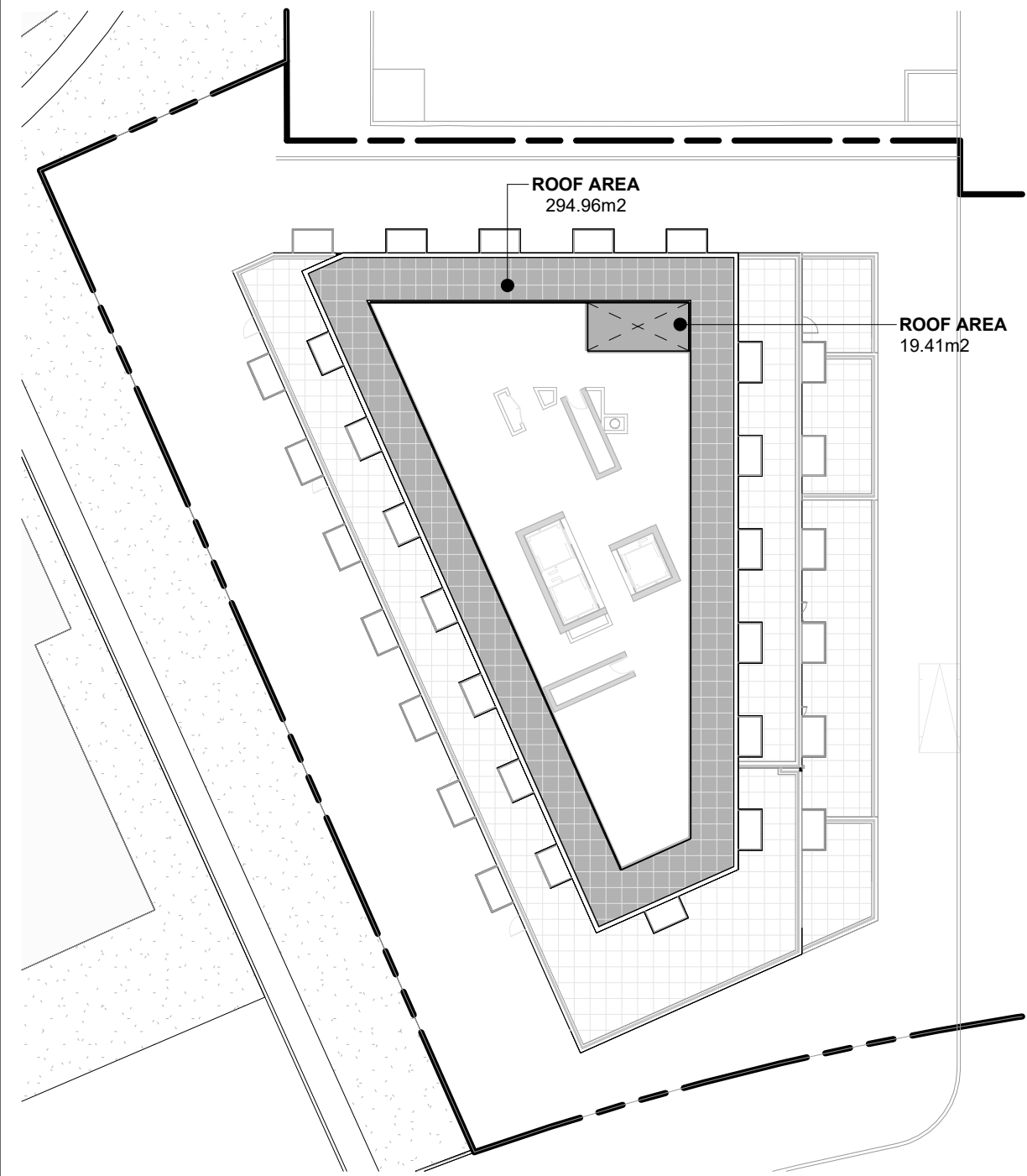
ROOF LEVEL : GREEN ROOF DIAGRAM 6



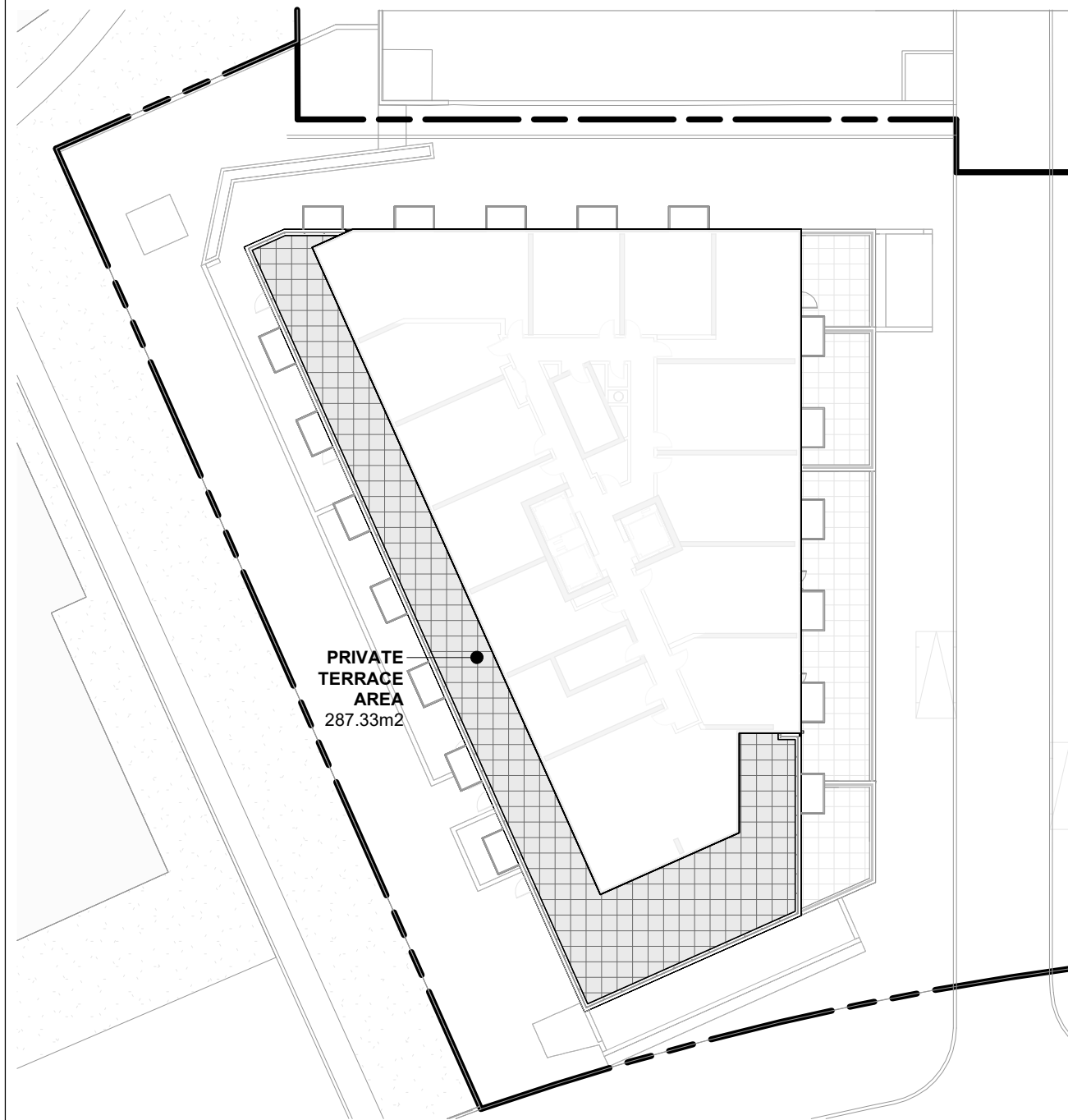
LEVEL 07 : GREEN ROOF DIAGRAM 4



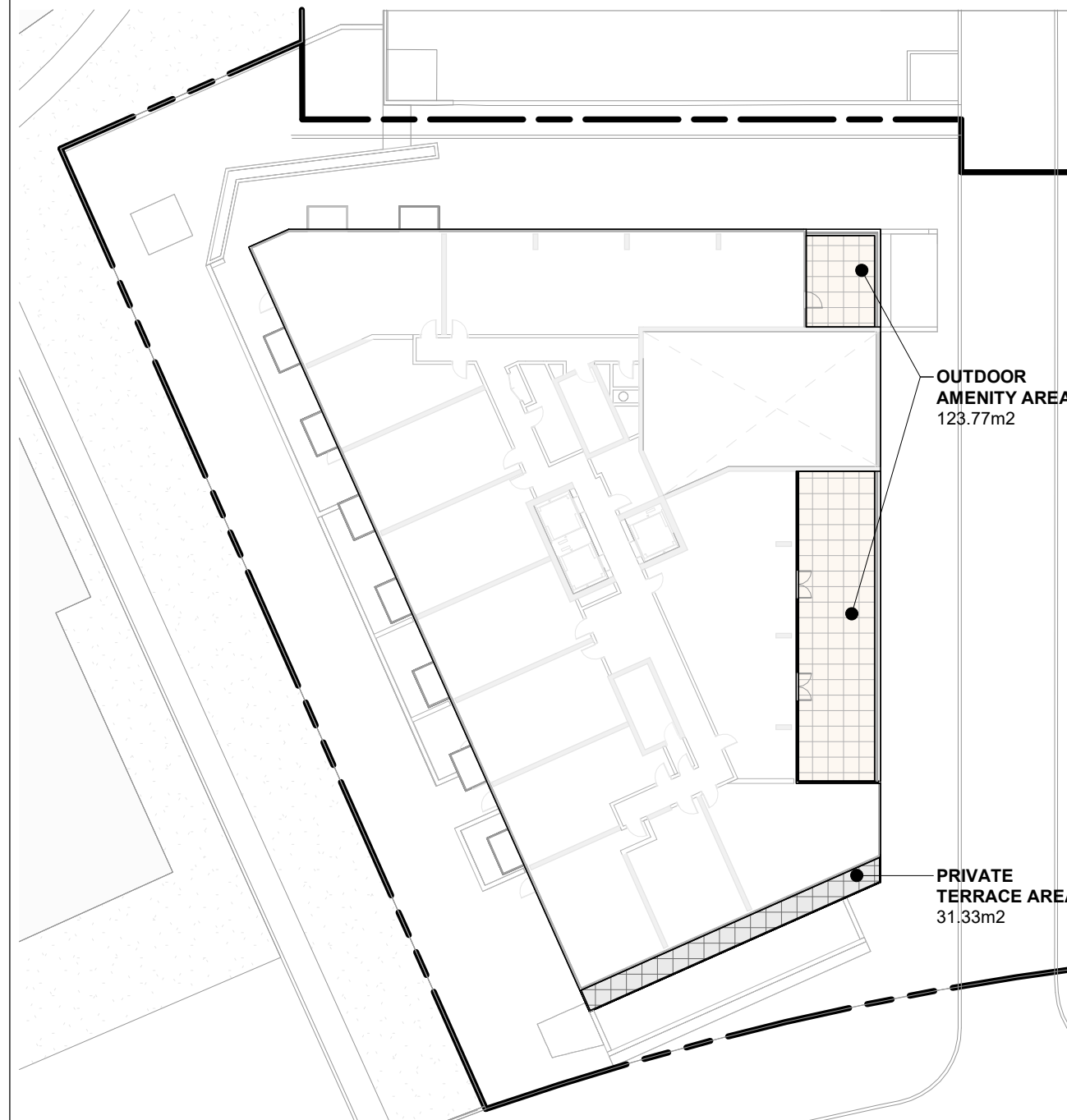
LEVEL 03 : GREEN ROOF DIAGRAM 2



LEVEL MPH : GREEN ROOF DIAGRAM 5



LEVEL 05 : GREEN ROOF DIAGRAM 3



LEVEL 02 : GREEN ROOF DIAGRAM 1



Green Roof Statistics

The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 492, Green Roofs. Complete the table below and copy it directly onto the Roof Plan submitted as part of any Site Plan Control Application requiring a green roof in accordance with the Bylaw. Refer to Section 5.492.1 of the Municipal Code for a complete list of defined terms, and greater clarity and certainty regarding the intent and application of the terms included in the template. The Toronto Municipal Code Chapter 492, Green Roofs can be found online at: <http://www.toronto.ca/legdocs/municipal-code-t492.pdf>

Green Roof Statistics

	Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m²)	38,914.4
Total Roof Area (m²)	2,757.4
Area of Residential Private Terraces (m²)	366.89
Rooftop Outdoor Amenity Space, if in a Residential Building (m²)	0
Area of Renewable Energy Devices (m²)	0
Tower (x)Roof Area with floor plate less than 750 m²	0
Total Available Roof Space (m²)	1,386.05
Green Roof Coverage	Required: 30% Proposed: 46%
Coverage of Available Roof Space (m²)	30% 46%
Coverage of Available Roof Space (%)	30% 46%

GREEN ROOF LEGEND - BUILDING B:

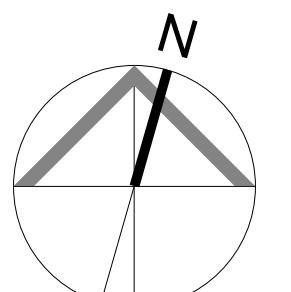
- PRIVATE TERRACE AREA 524.79m²
- ROOF AREA 366.89m²
- REQUIRED ROOFTOP AMENITY SPACE PROVIDED 123.77m²
- GREEN ROOF AREA 340.60m²
- TOTAL ROOF AREA 1,386.05m²

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1050 Markham Road

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Drawing Title

GREEN ROOF DIAGRAM - BUILDING B

1:400 Scale

Drawn by

Checked by

23-11 Project No.

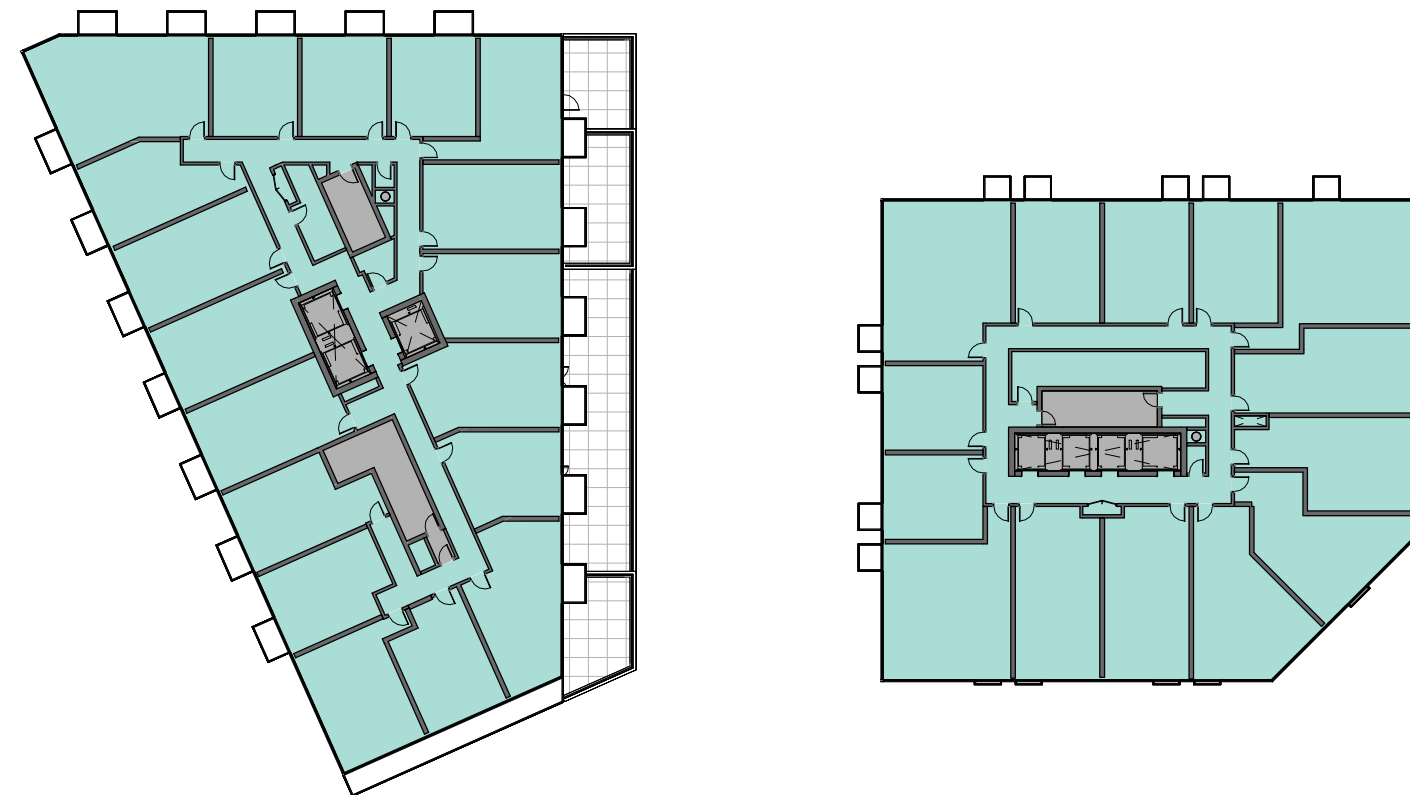
2024-06-07 Date

Drawing No.



A1.13

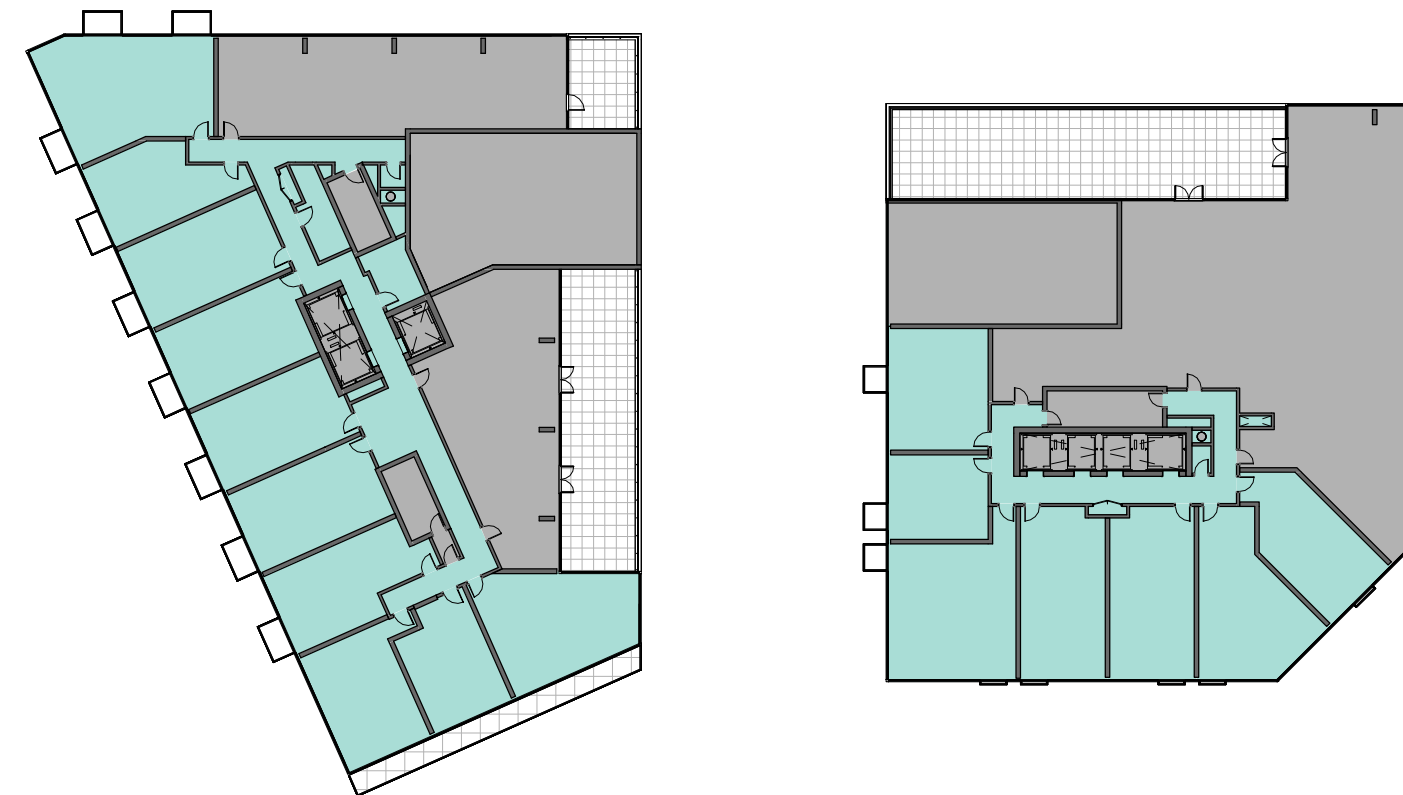
NOTES







GROSS FLOOR AREA



 DEDUCTION AREA  
 GROSS FLOOR AREA



GROSS FLOOR AREA

 DEDUCTION AREA  
 GROSS FLOOR AREA

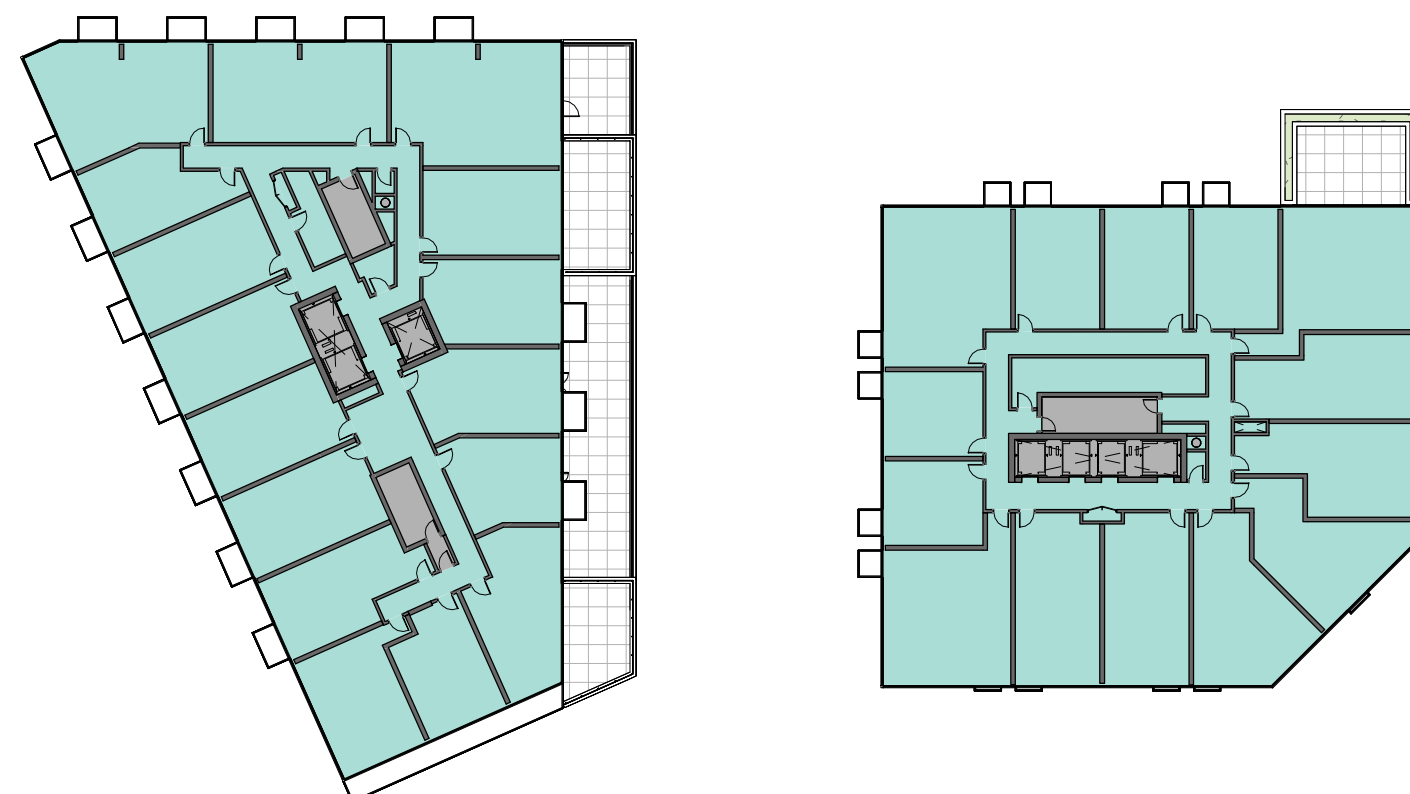
GROSS FLOOR AREA

 DEDUCTION AREA  
 GROSS FLOOR AREA



LEVEL 04 : AREA DIAGRAM 6

**LEVEL 02 : AREA DIAGRAM** 4

LEVEL P1 : AREA DIAGRAM 2





GROSS FLOOR AREA



 DEDUCTION AREA  
 GROSS FLOOR AREA



GROSS FLOOR AREA

 DEDUCTION AREA  
 GROSS FLOOR AREA

GROSS FLOOR AREA

 DEDUCTION AREA  
 GROSS FLOOR AREA

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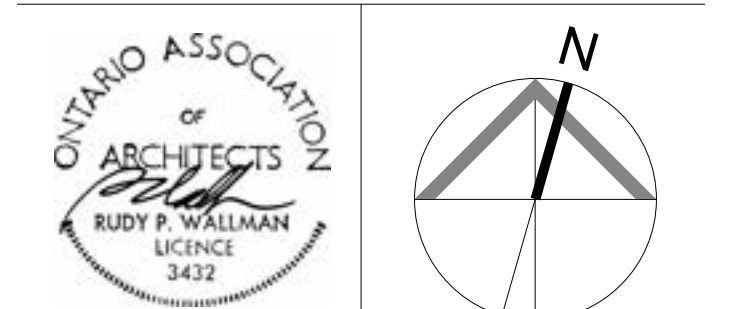
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Drawing Title

## AREA DIAGRAMS

1 : 500 Scale

Drawn by \_\_\_\_\_

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Checked by \_\_\_\_\_

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22-11
Project No.

23-11 \_\_\_\_\_ Date \_\_\_\_\_

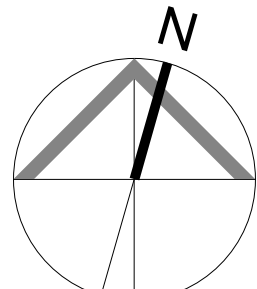
2024-06-07

Drawing No.

A1.20



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Drawing Title

## AREA DIAGRAMS

1 : 500 Scale

Drawn by \_\_\_\_\_

Checked by \_\_\_\_\_

23-11 Project No.

2024-06-07

Drawing No.

## A1.21

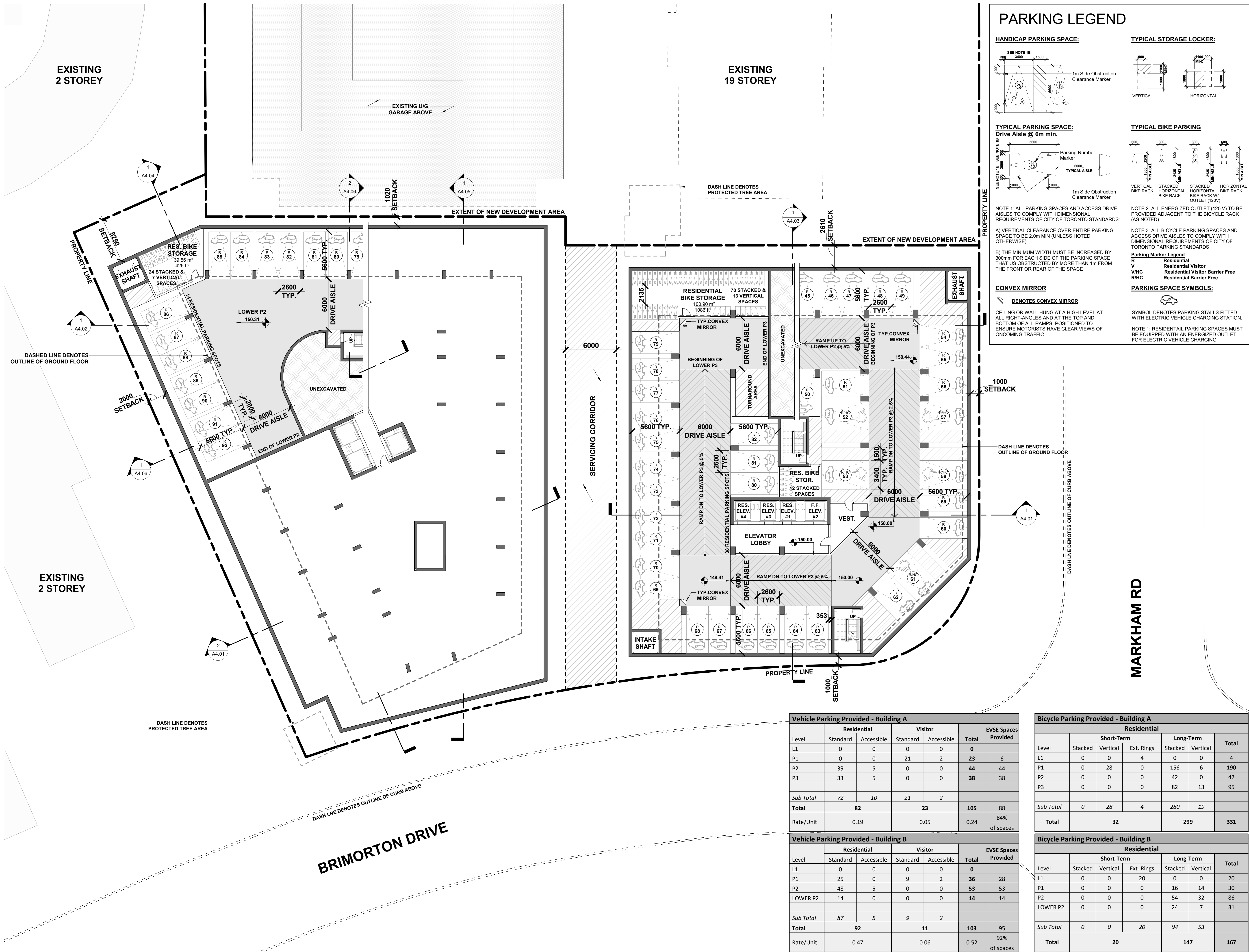


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No	Issued For	Date							
1	Issued for ZBA	2024-06-07							
		LEVEL 02 : AREA DIAGRAM2							
		<div></div> <div>AMENITY AREA LEGEND<div><div>INDOOR AMENITY</div><div>OUTDOOR AMENITY</div></div></div>	<div><div>WALLMANARCHITECTS</div><div>99 Spadina Avenue, Suite 600 Toronto, Ontario M5V 3P8 t 416 340 1870 f 416 340 1871 www.wallmanarchitects.com</div><div><div><div>ONTARIO ASSOCIATION of ARCHITECTS RUDY P. WALLMAN LICENSE 3432</div><div><div>N</div><div></div></div></div><div>Project</div><div>1050 Markham Road</div><div>1050 Markham Road, Toronto, Ontario, M1H 2Y5</div><div>Client</div><div>Drawing Title</div><div>AMENITY DIAGRAMS</div><div>Scale</div><div>1 : 500</div><div>Drawn by</div><div>Checked by</div><div>Project No.</div><div>23-11</div><div>Date</div><div>2024-06-07</div><div>Drawing No.</div><div>A1.22</div></div></div>						
		LEVEL 01 : AREA DIAGRAM1							



Plot Date: 2024-06-07 4:18:24 PM File Path: V:\06 Temporary Files\Devil\Default Path\Wynr\23-11\_1026 Warden Road\_060624\A2.01.rvt



Vehicle Parking Provided - Building A						
Level	Residential		Visitor		Total	EVSE Spaces Provided
	Standard	Accessible	Standard	Accessible		
L1	0	0	0	0	0	
P1	0	0	21	2	23	6
P2	39	5	0	0	44	44
P3	33	5	0	0	38	38
Sub Total	72	10	21	2		
Total	82		23		105	88
Rate/Unit	0.19		0.05		0.24	84% of spaces

Vehicle Parking Provided - Building B						
Level	Residential		Visitor		Total	EVSE Spaces Provided
	Standard	Accessible	Standard	Accessible		
L1	0	0	0	0	0	
P1	25	0	9	2	36	28
P2	48	5	0	0	53	53
LOWER P2	14	0	0	0	14	14
Sub Total	87	5	9	2		
Total	92		11		103	95
Rate/Unit	0.47		0.06		0.52	92% of spaces

Bicycle Parking Provided - Building A						
Residential						
Level	Short-Term			Long-Term		Total
	Stacked	Vertical	Ext. Rings	Stacked	Vertical	
L1	0	0	4	0	0	4
P1	0	28	0	156	6	190
P2	0	0	0	42	0	42
P3	0	0	0	82	13	95
Sub Total	0	28	4	280	19	
Total	32			299		331

Bicycle Parking Provided - Building B						
Residential						
Level	Short-Term			Long-Term		Total
	Stacked	Vertical	Ext. Rings	Stacked	Vertical	
L1	0	0	20	0	0	20
P1	0	0	0	16	14	30
P2	0	0	0	54	32	86
LOWER P2	0	0	0	24	7	31
Sub Total	0	0	20	94	53	
Total	20			147		167

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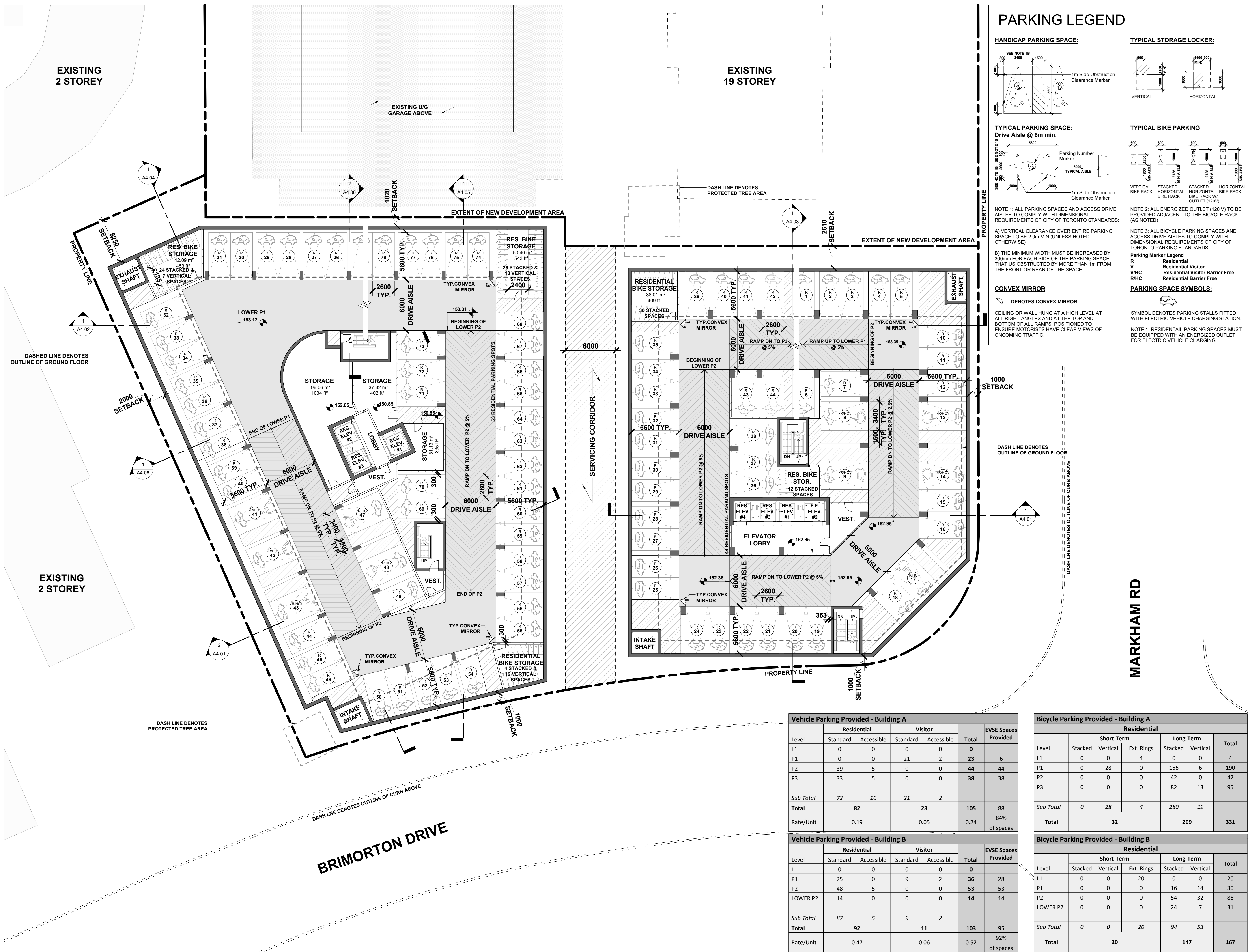
LOWER P2 & P3 PARKING LEVEL

1:200  
Scale  
Drawn by  
Checked by  
Project No.  
23-11  
Date  
2024-06-07  
Drawing No.

A2.01



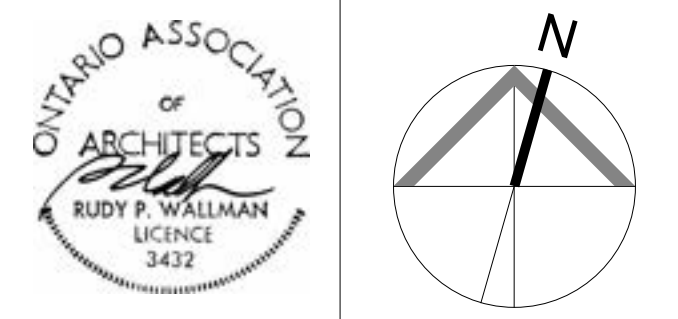
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PARKING LEVEL 2

1:200

Drawn by

Checked by

Project No.

23-11

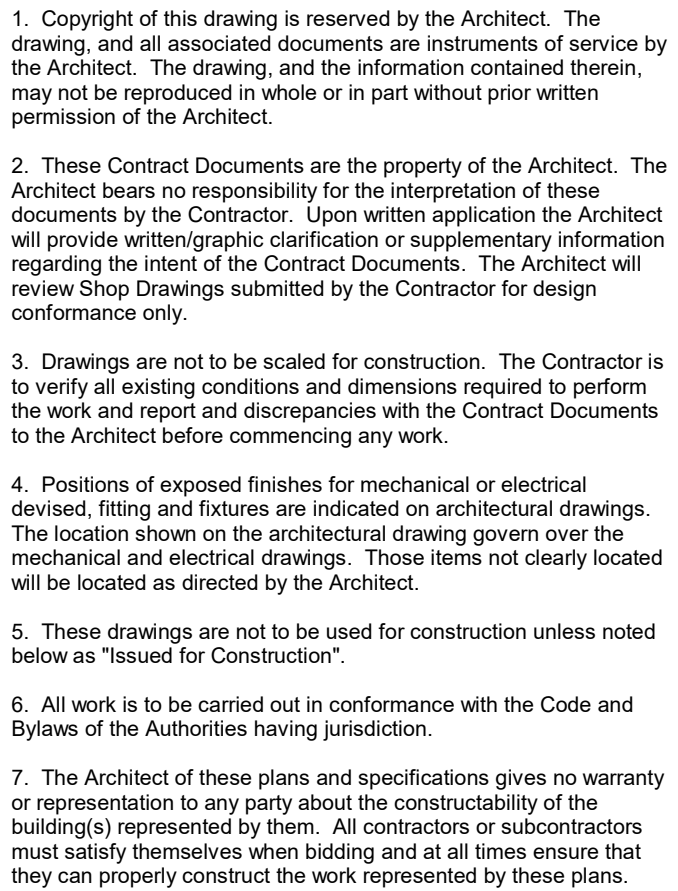
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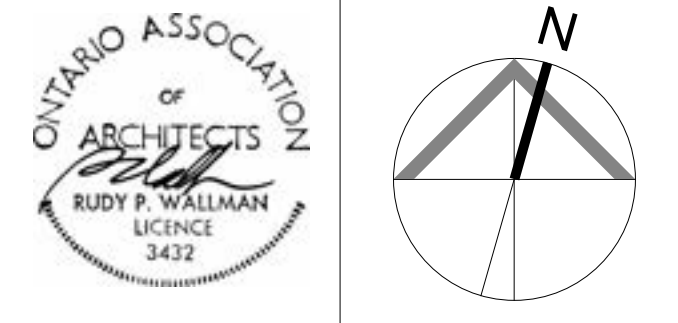
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## PARKING LEVEL 1

1:200 Scale

	Checked by
23-11	Project No.

## A2.03

Vehicle Parking Provided - Building A						
Level	Residential		Visitor		Total	EVSE Spaces Provided
	Standard	Accessible	Standard	Accessible		
L1	0	0	0	0	0	
P1	0	0	21	2	23	6
P2	39	5	0	0	44	44
P3	33	5	0	0	38	38
Sub Total	72	10	21	2		
Total	82		23		105	88
Rate/Unit	0.19		0.05		0.24	84% of spaces

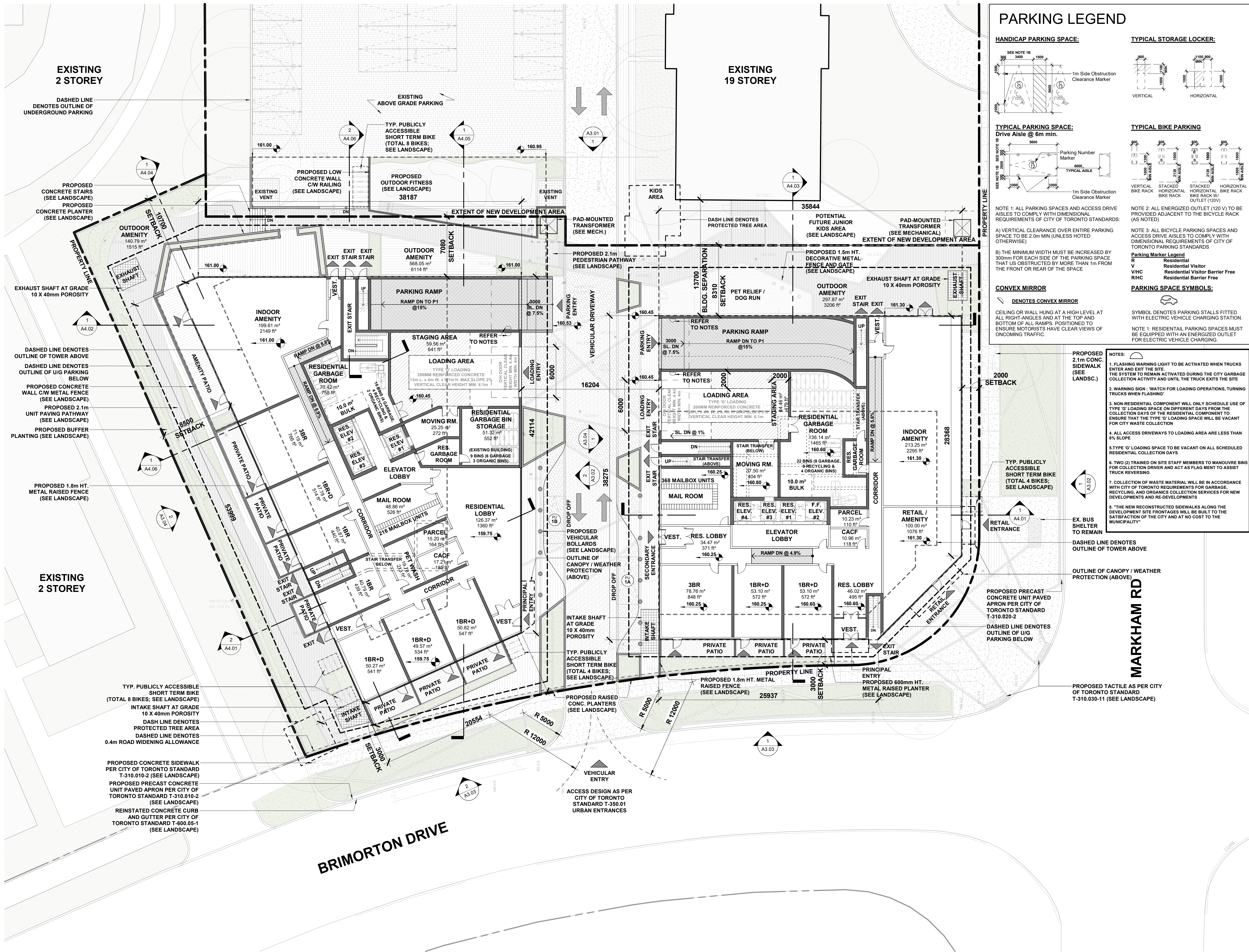
Vehicle Parking Provided - Building B						
Level	Residential		Visitor		Total	EVSE Spaces Provided
	Standard	Accessible	Standard	Accessible		
L1	0	0	0	0	0	
P1	25	0	9	2	36	28
P2	48	5	0	0	53	53
LOWER P2	14	0	0	0	14	14
<i>Sub Total</i>	<i>87</i>	<i>5</i>	<i>9</i>	<i>2</i>		
<b>Total</b>	<b>92</b>		<b>11</b>		<b>103</b>	<b>95</b>
Rate/Unit	0.47		0.06		0.52	92% of spaces

Bicycle Parking Provided - Building A						
Residential						
Level	Short-Term			Long-Term		Total
	Stacked	Vertical	Ext. Rings	Stacked	Vertical	
L1	0	0	4	0	0	4
P1	0	28	0	156	6	190
P2	0	0	0	42	0	42
P3	0	0	0	82	13	95
<i>Sub Total</i>	0	28	4	280	19	
<b>Total</b>		<b>32</b>		<b>299</b>		<b>331</b>

Bicycle Parking Provided - Building B						
Residential						
	Short-Term			Long-Term		Total
Level	Stacked	Vertical	Ext. Rngs	Stacked	Vertical	
L1	0	0	20	0	0	20
P1	0	0	0	16	14	30
P2	0	0	0	54	32	86
LOWER P2	0	0	0	24	7	31
<i>Sub Total</i>	0	0	20	94	53	
<b>Total</b>	<b>20</b>			<b>147</b>		<b>167</b>

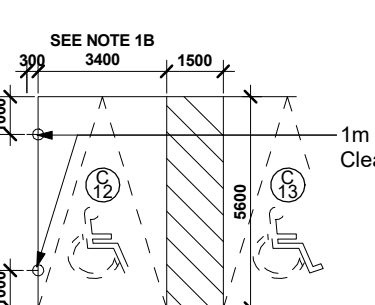


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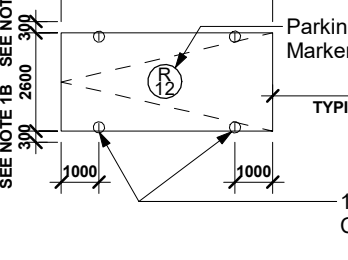
## PARKING LEGEND

### HANDICAP PARKING SPACE:



### TYPICAL PARKING SPACE:

Drive Aisle @ 6m min.



NOTE 1: ALL PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO STANDARDS.

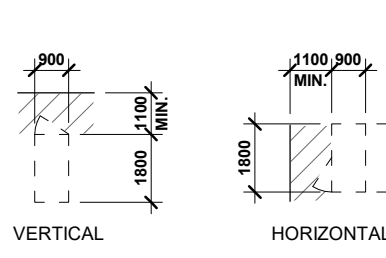
A) VERTICAL CLEARANCE OVER ENTIRE PARKING SPACE TO BE 2.0m MIN (UNLESS NOTED OTHERWISE)  
B) THE MINIMUM WIDTH MUST BE INCREASED BY 300mm FOR EACH SIDE OF THE PARKING SPACE THAT IS OBSTRUCTED BY MORE THAN 1m FROM THE FRONT OR REAR OF THE SPACE

### CONVEX MIRROR

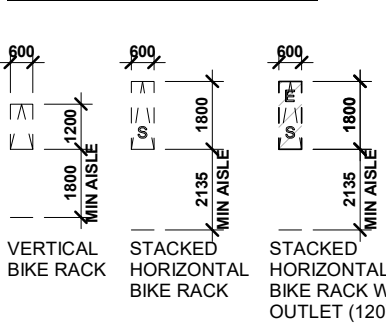
DENOTES CONVEX MIRROR

CEILING OR WALL HUNG AT A HIGH LEVEL AT ALL RIGHT-ANGLES AND AT THE TOP AND BOTTOM OF ALL RAMP, POSITIONED TO ENSURE MOTORISTS HAVE CLEAR VIEWS OF ONCOMING TRAFFIC.

### TYPICAL STORAGE LOCKER:



### TYPICAL BIKE PARKING



NOTE 2: ALL ENERGIZED OUTLET (120 V) TO BE PROVIDED ADJACENT TO THE BICYCLE RACK (AS NOTED)

NOTE 3: ALL BICYCLE PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO PARKING STANDARDS

**Parking Marker Legend**  
R Residential  
V Residential Visitor  
VHC Residential Visitor Barrier Free  
RHC Residential Barrier Free

### PARKING SPACE SYMBOLS:

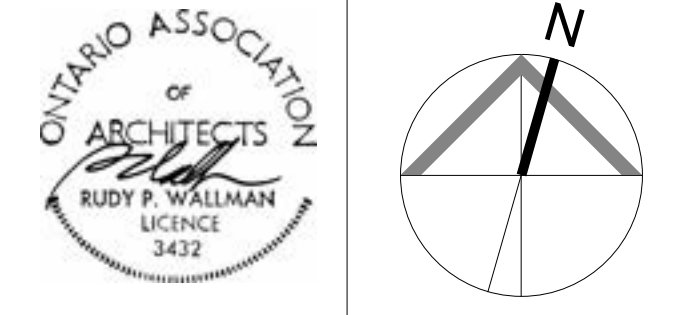
SYMBOL DENOTES PARKING STALLS FITTED WITH ELECTRIC VEHICLE CHARGING STATION.

NOTE 1: RESIDENTIAL PARKING SPACES MUST BE EQUIPPED WITH AN ENERGIZED OUTLET FOR ELECTRIC VEHICLE CHARGING.

- NOTES:**
- FLASHING WARNING LIGHT TO BE ACTIVATED WHEN TRUCKS ENTER AND EXIT THE SITE. THE SYSTEM TO REMAIN ACTIVATED DURING THE CITY GARBAGE COLLECTION ACTIVITY AND UNTIL THE TRUCK EXITS THE SITE
  - WARNING SIGN: "WATCH FOR LOADING OPERATIONS, TURNING TRUCKS WHEN FLASHING"
  - NON-RESIDENTIAL COMPONENT WILL ONLY SCHEDULE USE OF TYPE 'G' LOADING SPACE ON DIFFERENT DAYS FROM THE COLLECTION DAYS OF THE RESIDENTIAL COMPONENT TO ENSURE THAT THE TYPE 'G' LOADING SPACE WILL BE VACANT FOR CITY WASTE COLLECTION
  - ALL ACCESS DRIVEWAYS TO LOADING AREA ARE LESS THAN 8% SLOPE
  - TYPE 'G' LOADING SPACE TO BE VACANT ON ALL SCHEDULED RESIDENTIAL COLLECTION DAYS
  - TWO (2) TRAINED ON SITE STAFF MEMBERS TO MANOEUVRE BINS FOR COLLECTION DRIVER AND ACT AS FLAG MENT TO ASSIST TRUCK REVERSING
  - COLLECTION OF WASTE MATERIAL WILL BE IN ACCORDANCE WITH CITY OF TORONTO REQUIREMENTS FOR GARBAGE, RECYCLING, AND ORGANICS COLLECTION SERVICES FOR NEW DEVELOPMENTS AND RE-DEVELOPMENTS
  - "THE NEW RECONSTRUCTED SIDEWALKS ALONG THE DEVELOPMENT SITE FRONTAGES WILL BE BUILT TO THE SATISFACTION OF THE CITY AND AT NO COST TO THE MUNICIPALITY"

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CAPREIT

LEVEL 1 FLOOR PLAN

1:200	Scale
	Drawn by
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23-11	Project No.
2024-06-07	Date
	Drawing No.

A2.04











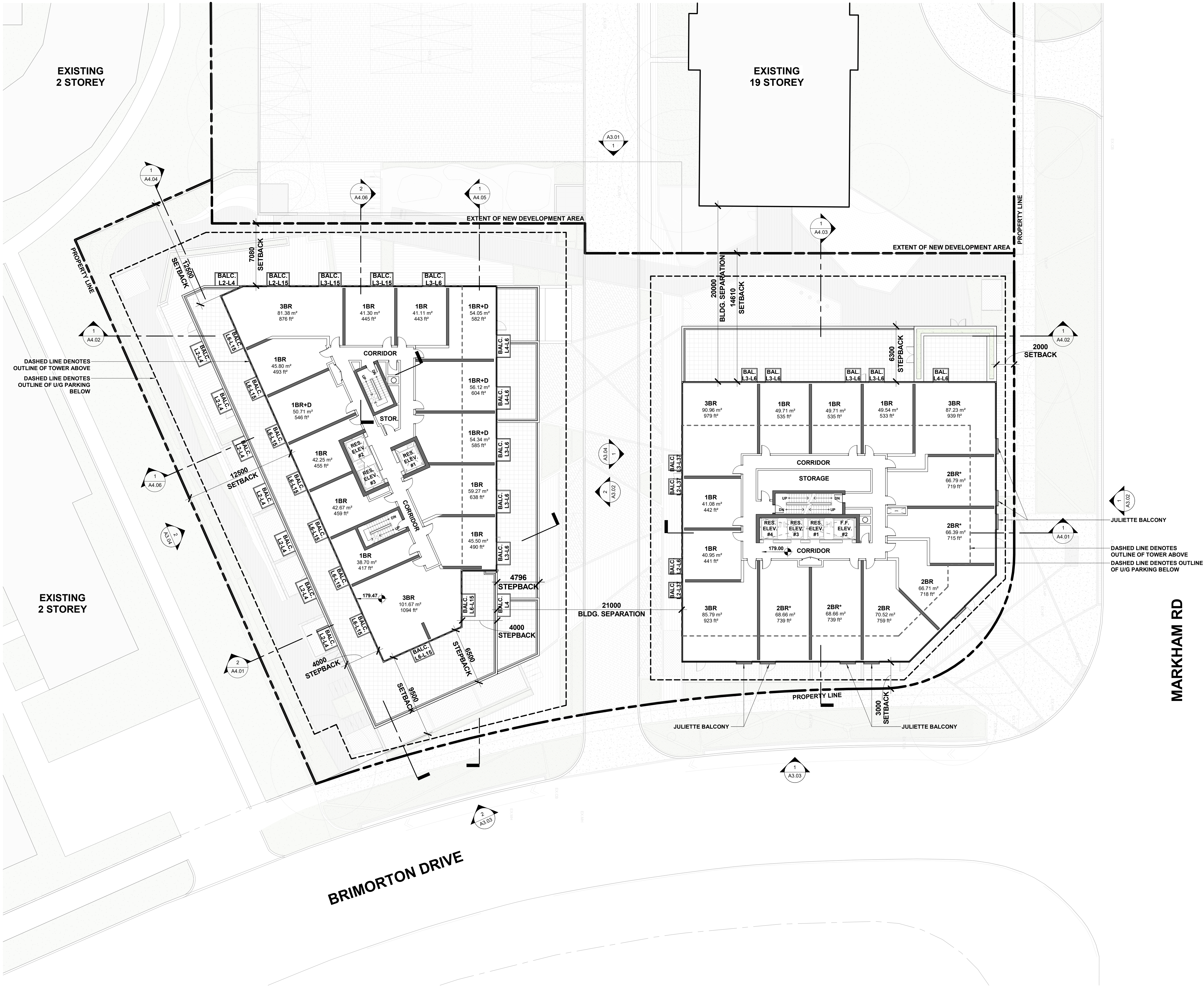








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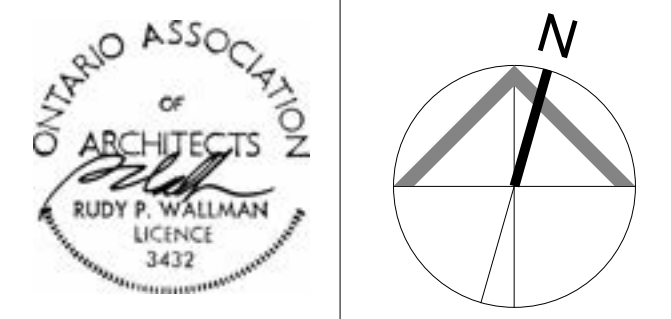


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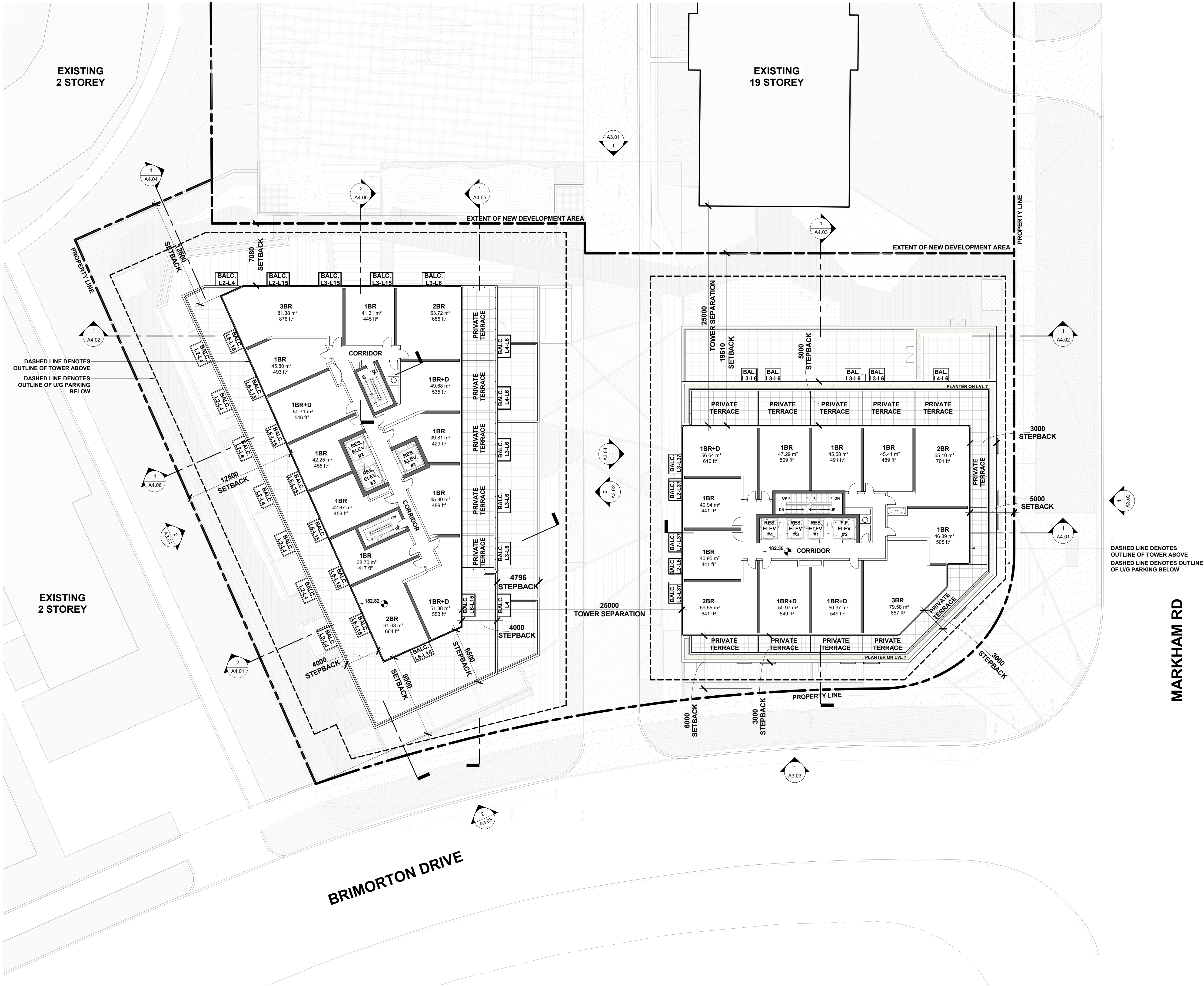
LEVEL 6 FLOOR PLAN

1 : 200	Scale
	Drawn by
	Checked by
23-11	Project No.
2024-06-07	Date
	Drawing No.

# A2.11



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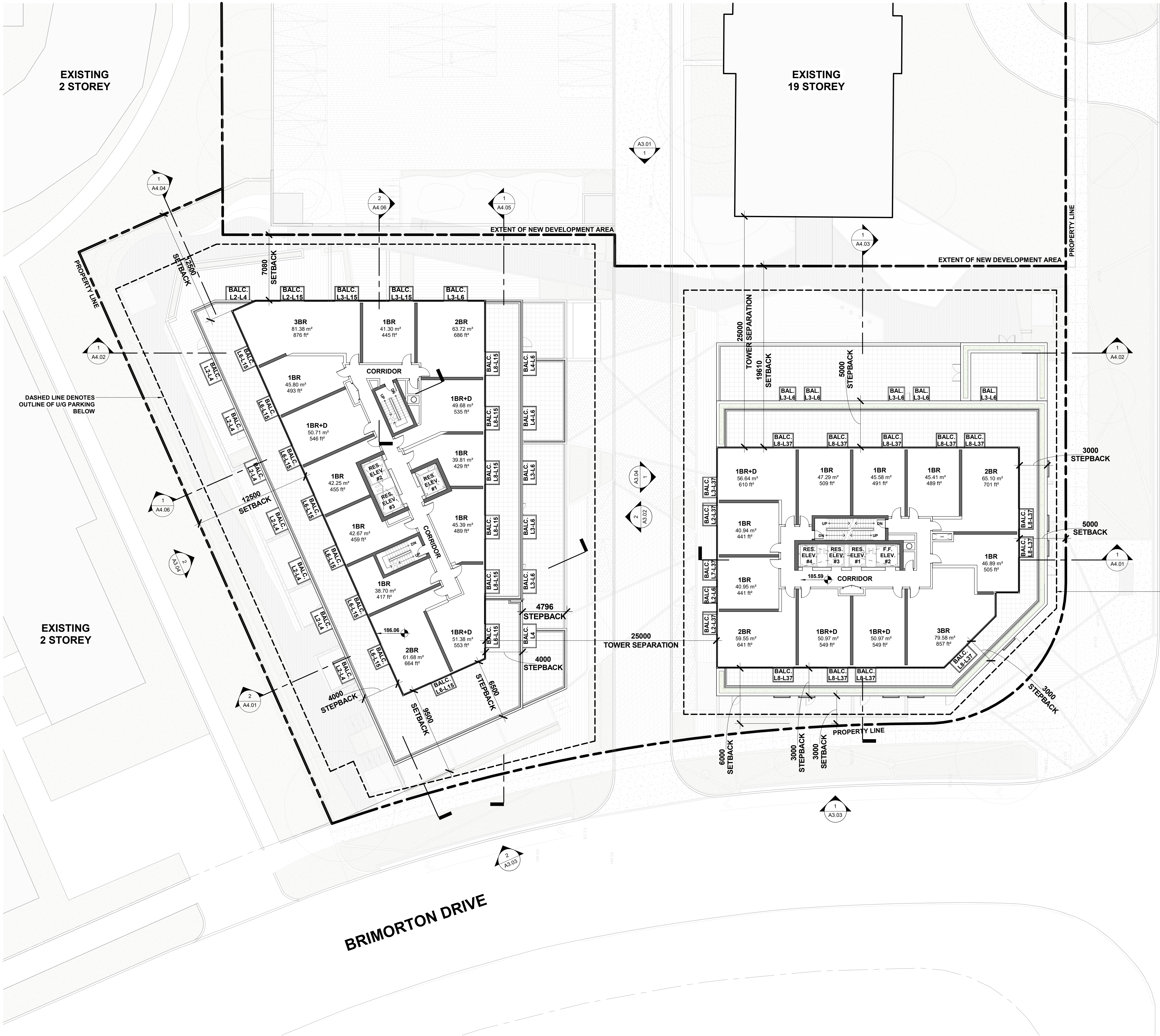
LEVEL 7 FLOOR PLAN

1 : 200	Scale
	Drawn by
	Checked by
23-11	Project No.
2024-06-07	Date
	Drawing No.

# A2.12



Plot Date: 2024-06-07 4:19:02 P:\New Plans\1\016 Temporary Plans\Devil\Default Path\New\3-1\_1026 Markham Road\_060624.dwg (3/1)

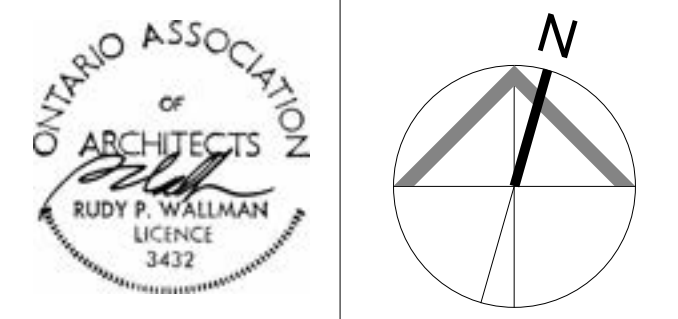


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## OVERALL TYPICAL TOWER FLOOR PLAN

BUILDING 'A' - FLOORS 8 - 37  
BUILDING 'B' - FLOORS 8 - 15

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	Checked by
23-11	Project No.
2024-06-07	Date
	Drawing No.

# A2.13











## A3.01

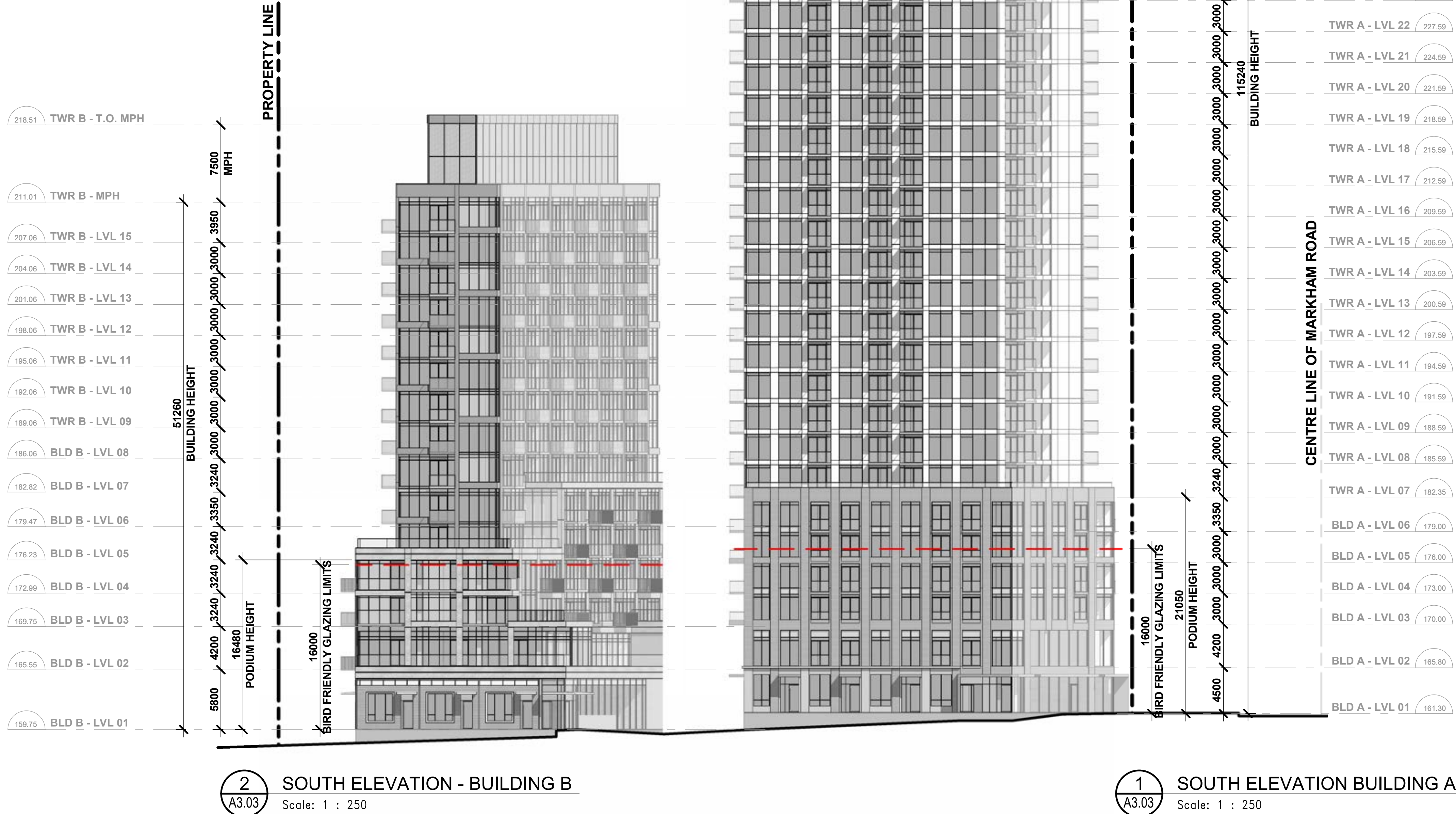


Scale: 1 : 250

Scale: 1 : 250

## A3.02





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## SOUTH ELEVATIONS

1 : 250 Scale

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## A3.03



# A3.04



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1 : 250 Scale

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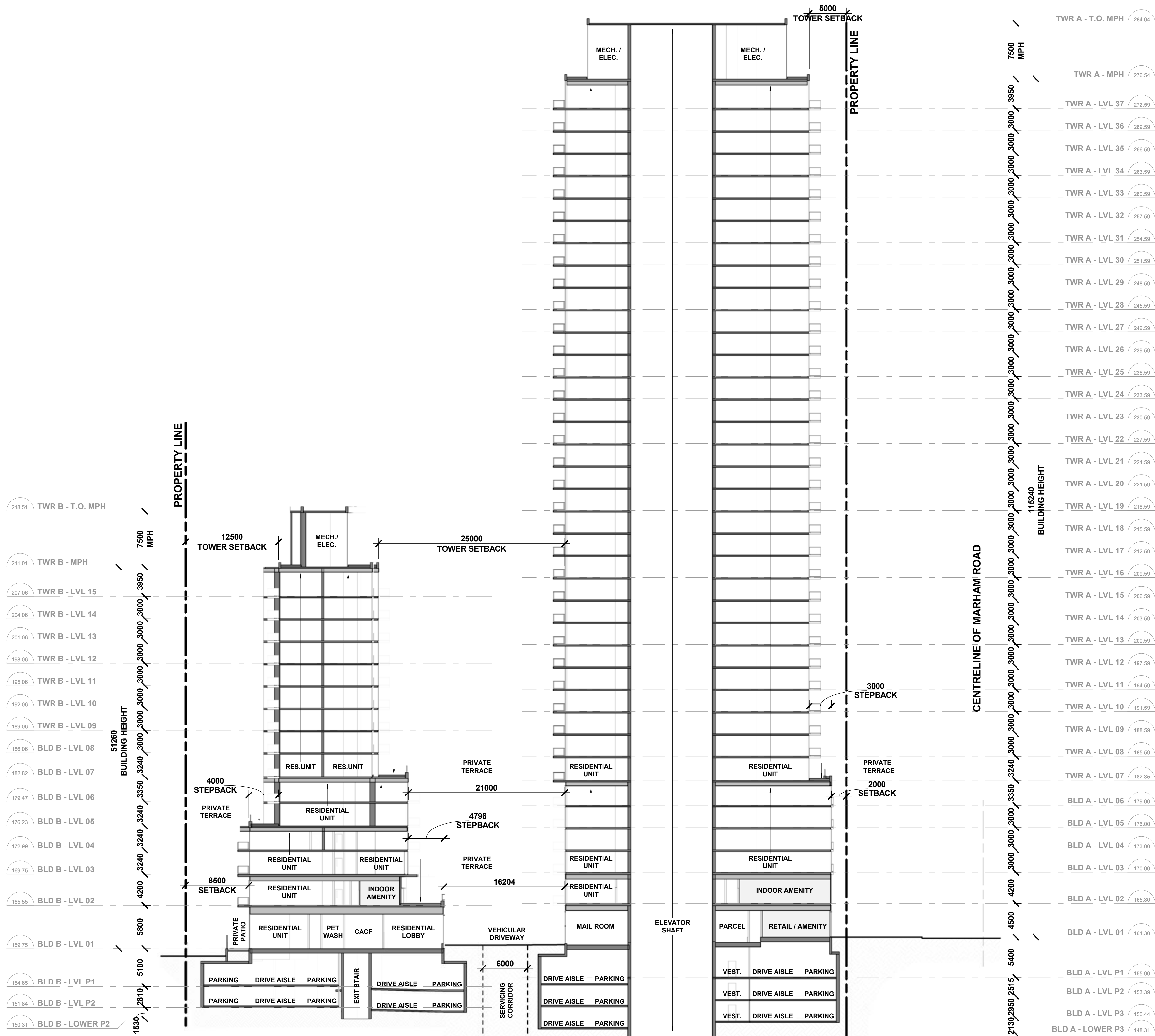
2024-06-07

Date \_\_\_\_\_

Drawing No.

Drawing No.

# A4.01

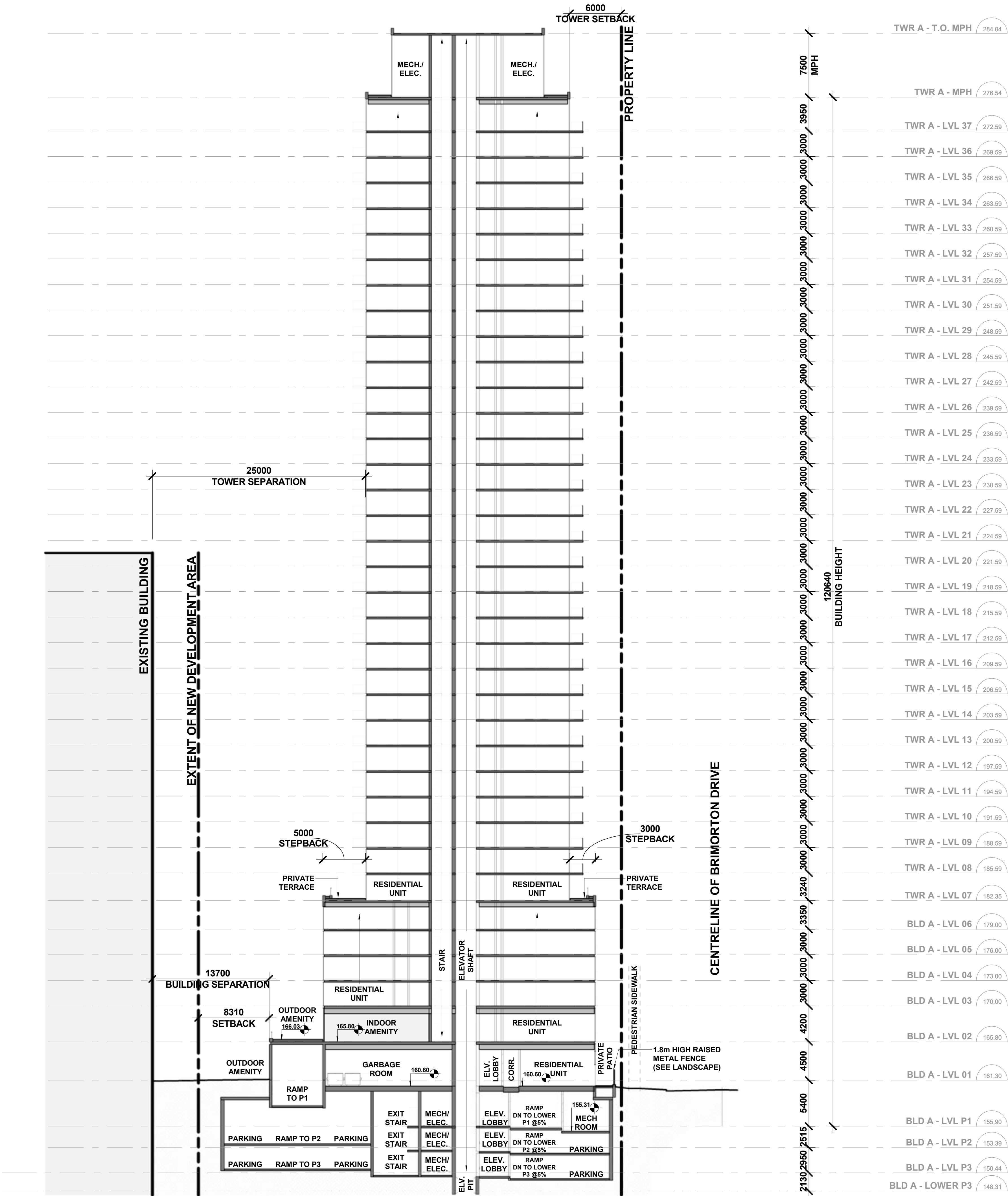








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BUILDING SECTION C - C

Scale

1 : 250

Drawn by

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Date

2024-06-07

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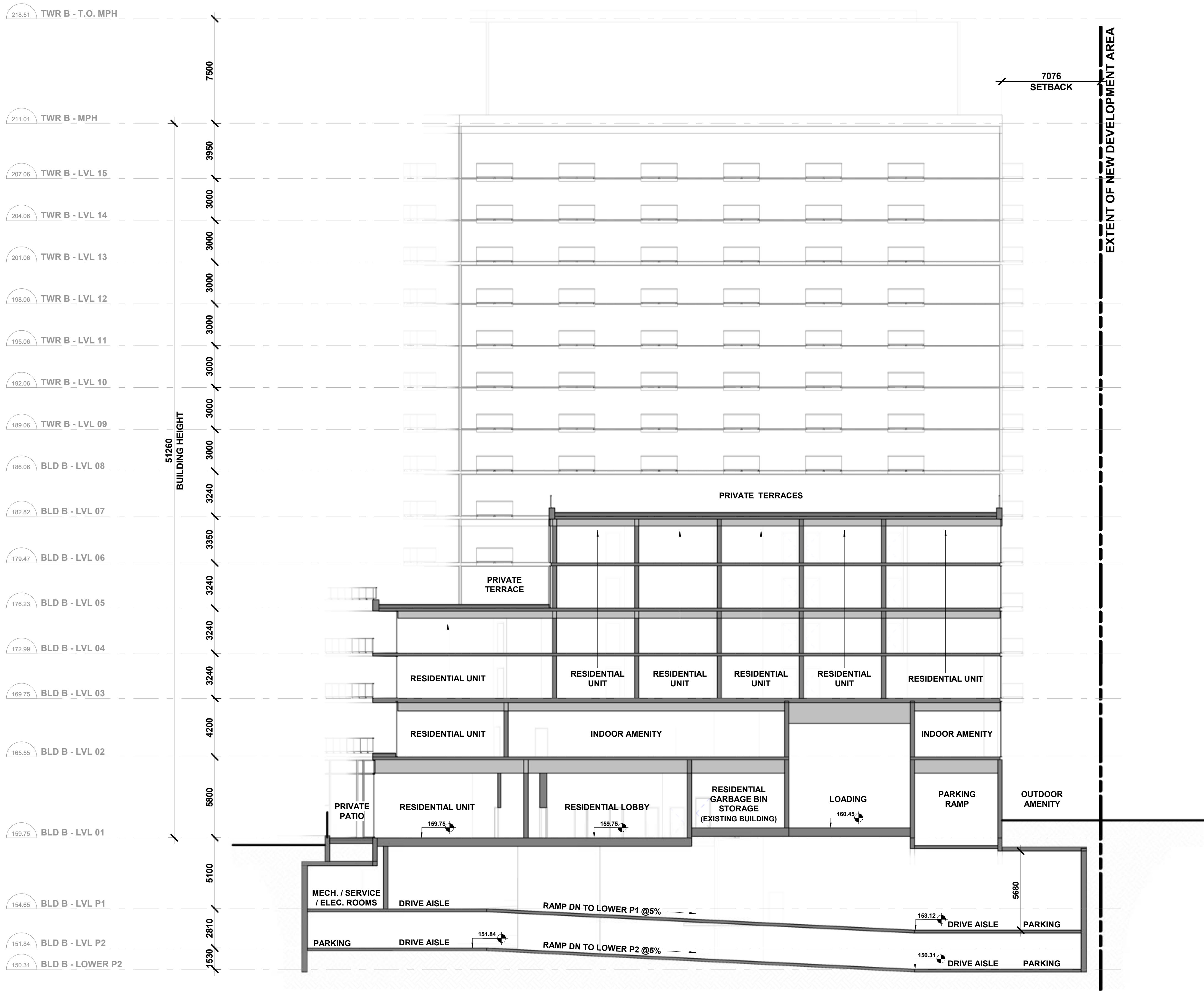
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Scale  
1 : 150

Drawn by  
BUILTING SECTION E - E

Checked by

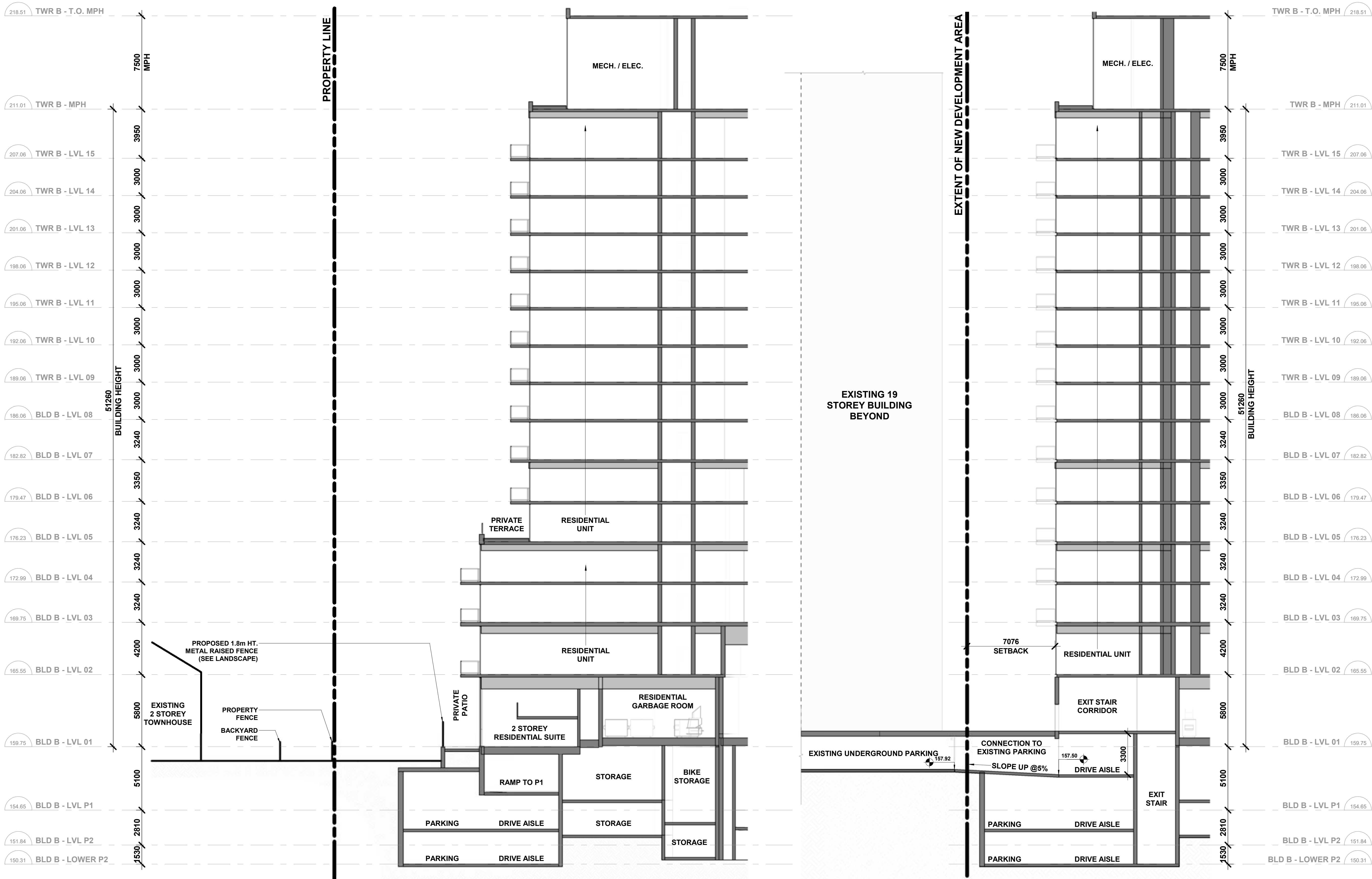
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23-11

Date  
2024-06-07

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## WALL SECTIONS - BUILDING B

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1 : 150

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## PERSPECTIVES

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2024-06-07









Drawing No.

## A5.02

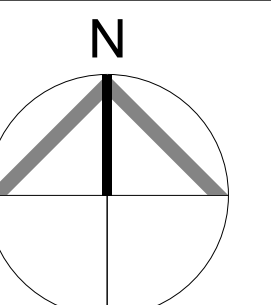


An aerial map of the proposed development site in Bromorton. The site is outlined in red and is situated between Dolls Varden Blvd to the west and Bromorton Drive to the south. To the east of the site is Meadowdale Blvd, and further east is O'Brien Square. The map shows surrounding residential areas with houses and trees. A scale bar is located in the bottom right corner.

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 UNDER CONSTRUCTION  
 PROPOSED  
 APPROVED/NOT YET CONSTRUCTED  
 ADDED SHADOW  
 PARK  
 MASSING  
 ROAD

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Drawing Title

1 : 3000 Scale

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Checked by \_\_\_\_\_

23-11 Project No.

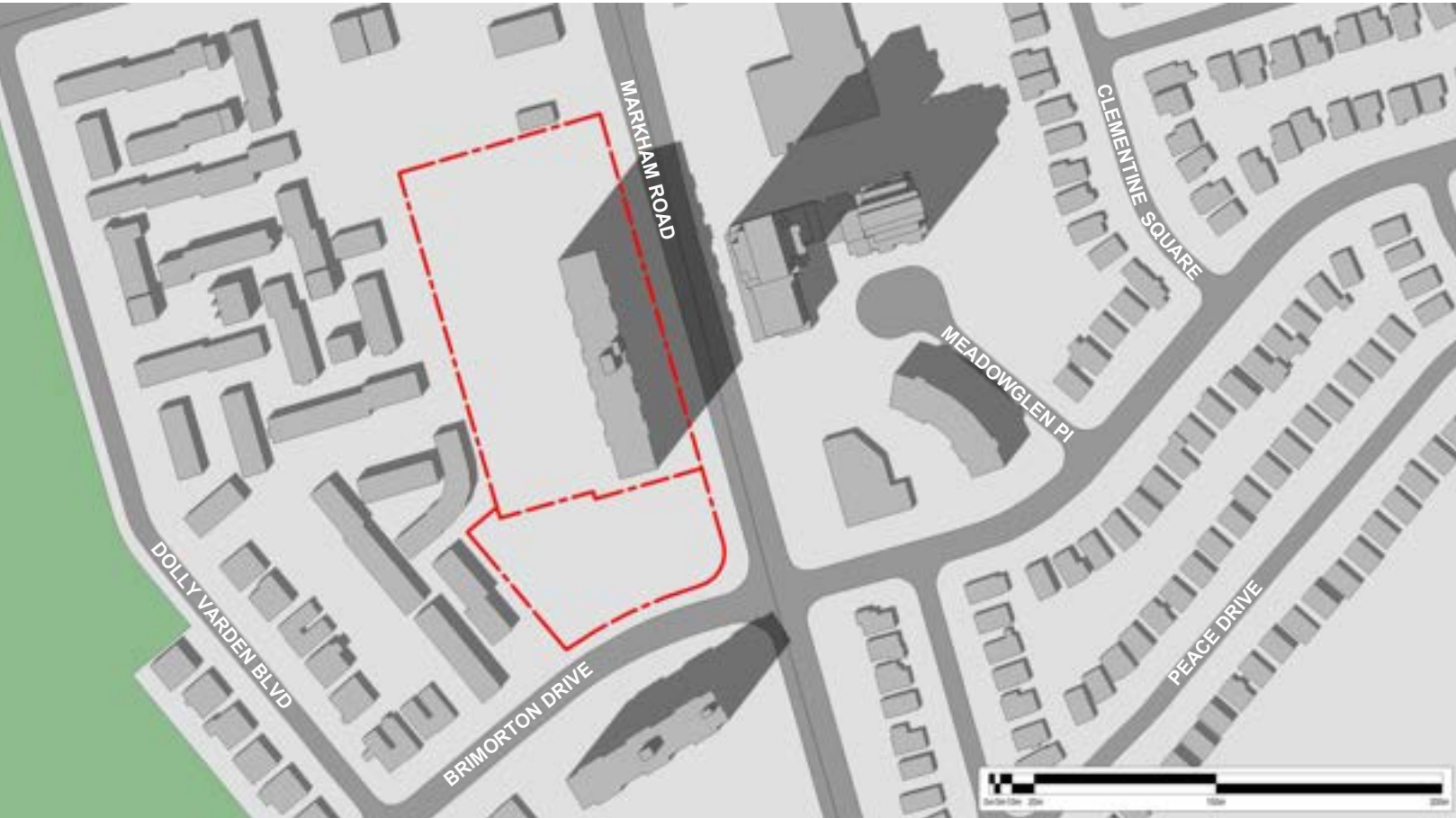
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A6 01

## A6.01



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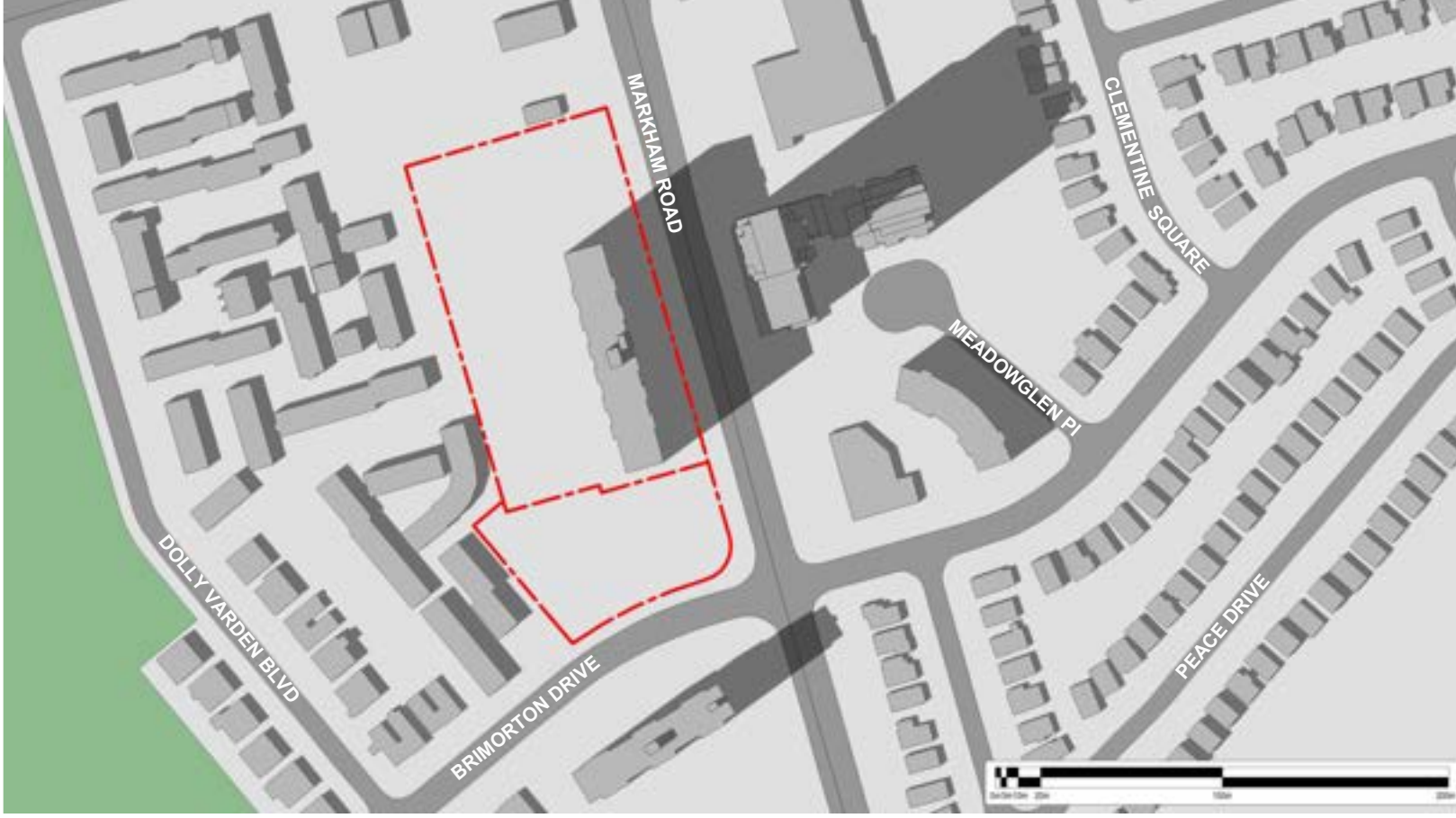


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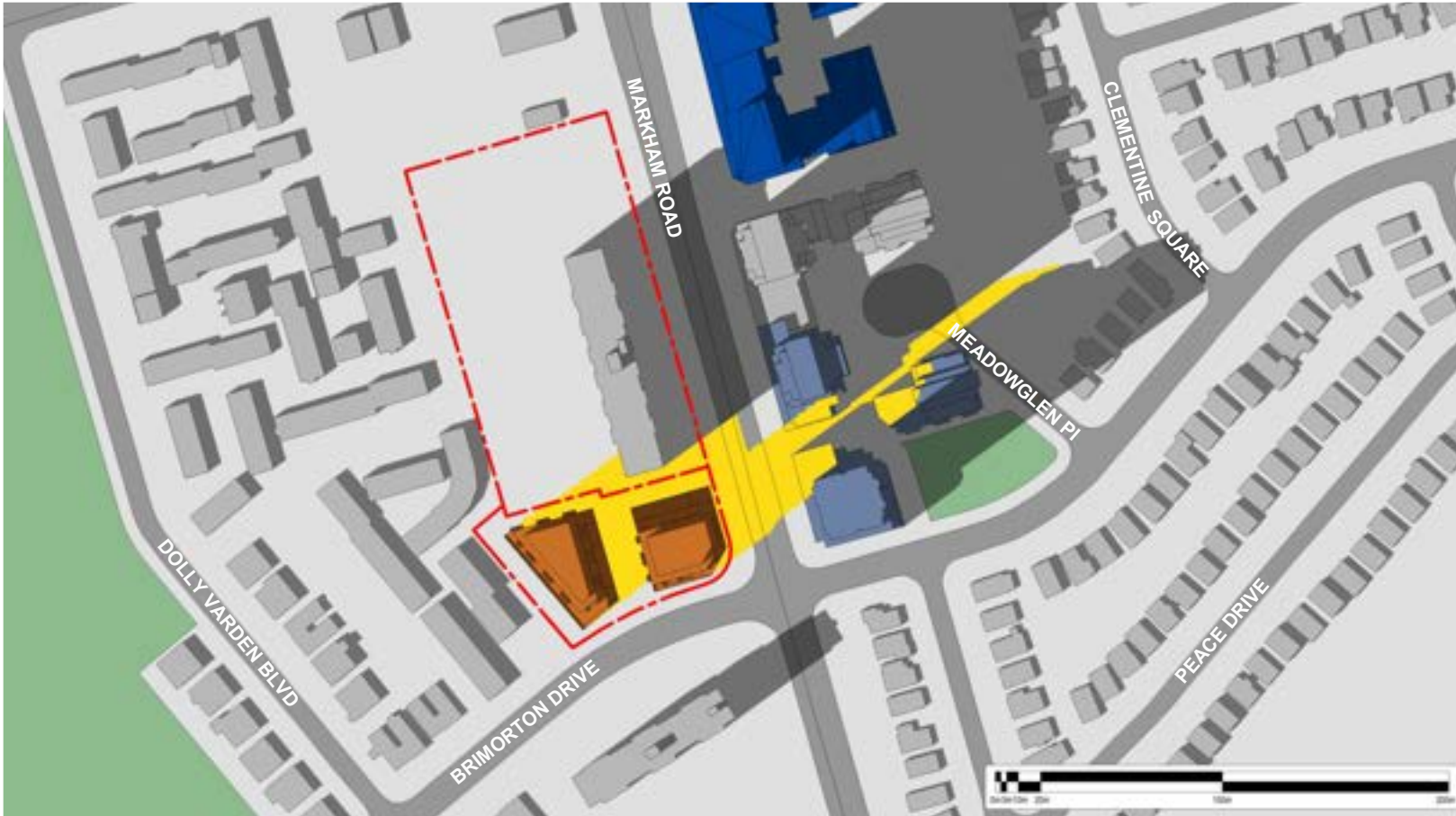


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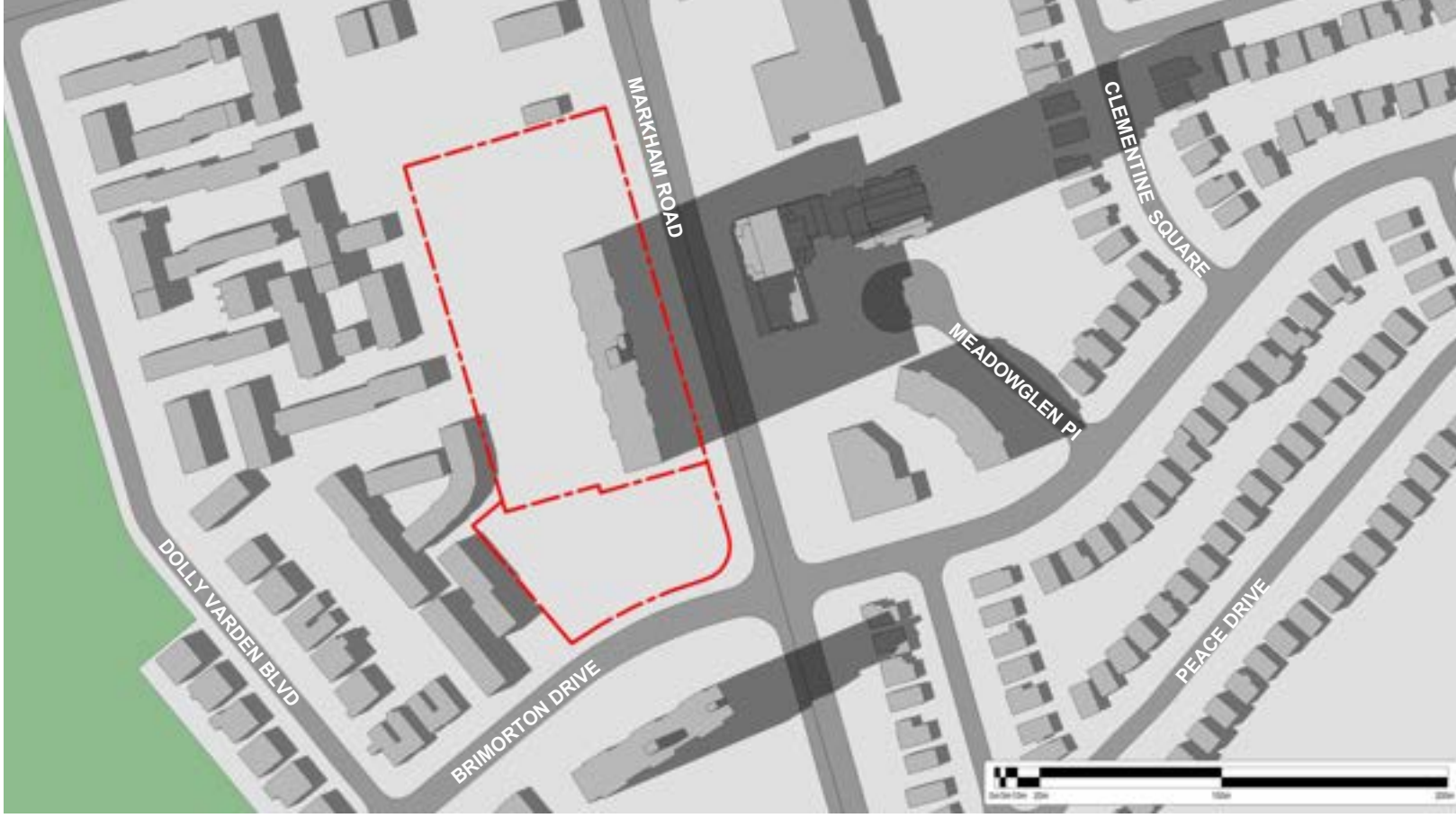


EXISTING



PROPOSED

MARCH 21<sup>ST</sup> 05:18 PM



EXISTING



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EXISTING



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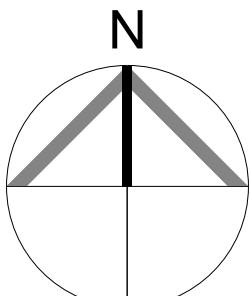
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LEGEND

- APPLICANT PROPOSAL
- UNDER CONSTRUCTION
- PROPOSED
- APPROVED/NOT YET CONSTRUCTED
- ADDED SHADOW
- PARK
- MASSING
- ROAD

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SHADOW STUDIES  
MARCH

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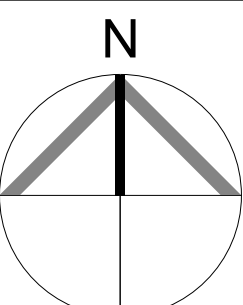
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	UNDER CONSTRUCTION
	PROPOSED
	APPROVED/NOT YET CONSTRUCTED
	ADDED SHADOW
	PARK
	MASSING
	ROAD

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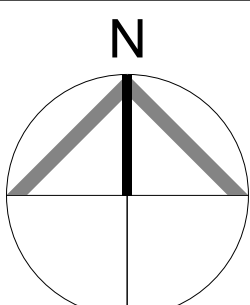
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	UNDER CONSTRUCTION
	PROPOSED
	APPROVED/NOT YET CONSTRUCTED
	ADDED SHADOW
	PARK
	MASSING
	ROAD

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Project

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Client

Drawing Title

1 : 3000 Scale

Drawn by

Checked by \_\_\_\_\_

23-11 Project No.

2024-06-07 Date

Drawing No.

## A6.04