

1050 Markham Road

TORONTO, ONTARIO

ISSUED FOR ZBA SUBMISSION #1

06.07.2024

LANDSCAPE ARCHITECT



the mbtw group

landscape architecture | urban design | design guidance | architecture | golf design | leisure design

255 Wicksteed Ave., Unit 1A | Toronto, Ontario, Canada M4H 1G8

T: (416) 449-7767 | F: (416) 449-1803 | www.mbtw-wal.com

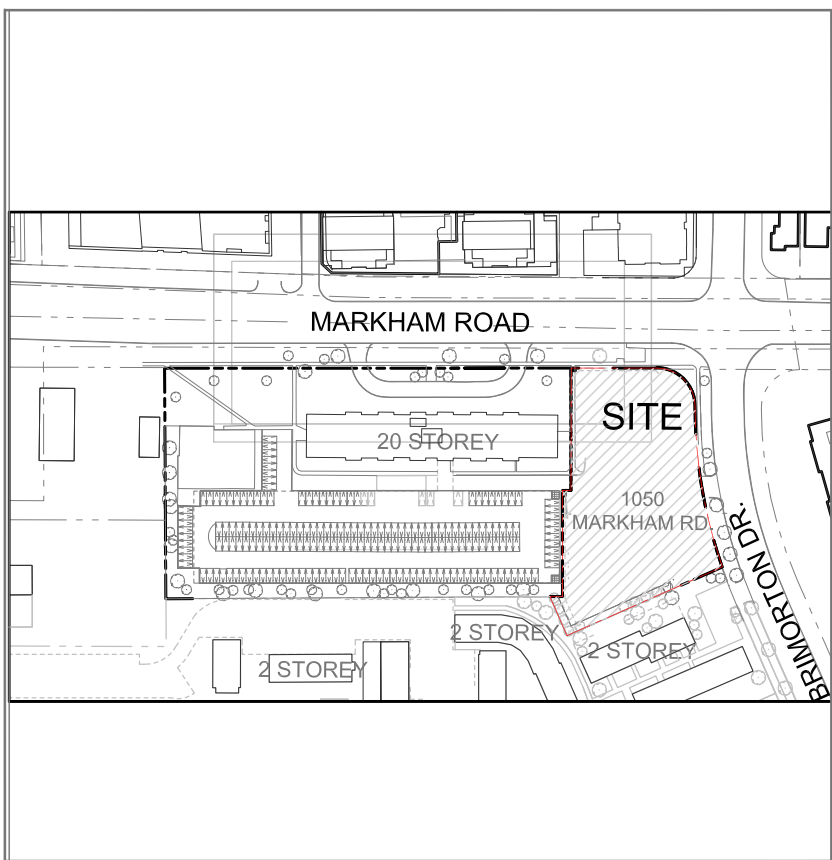
CLIENT

Canadian Apartment Properties Reit

11 Church Street, Toronto, ON M5E 1W1

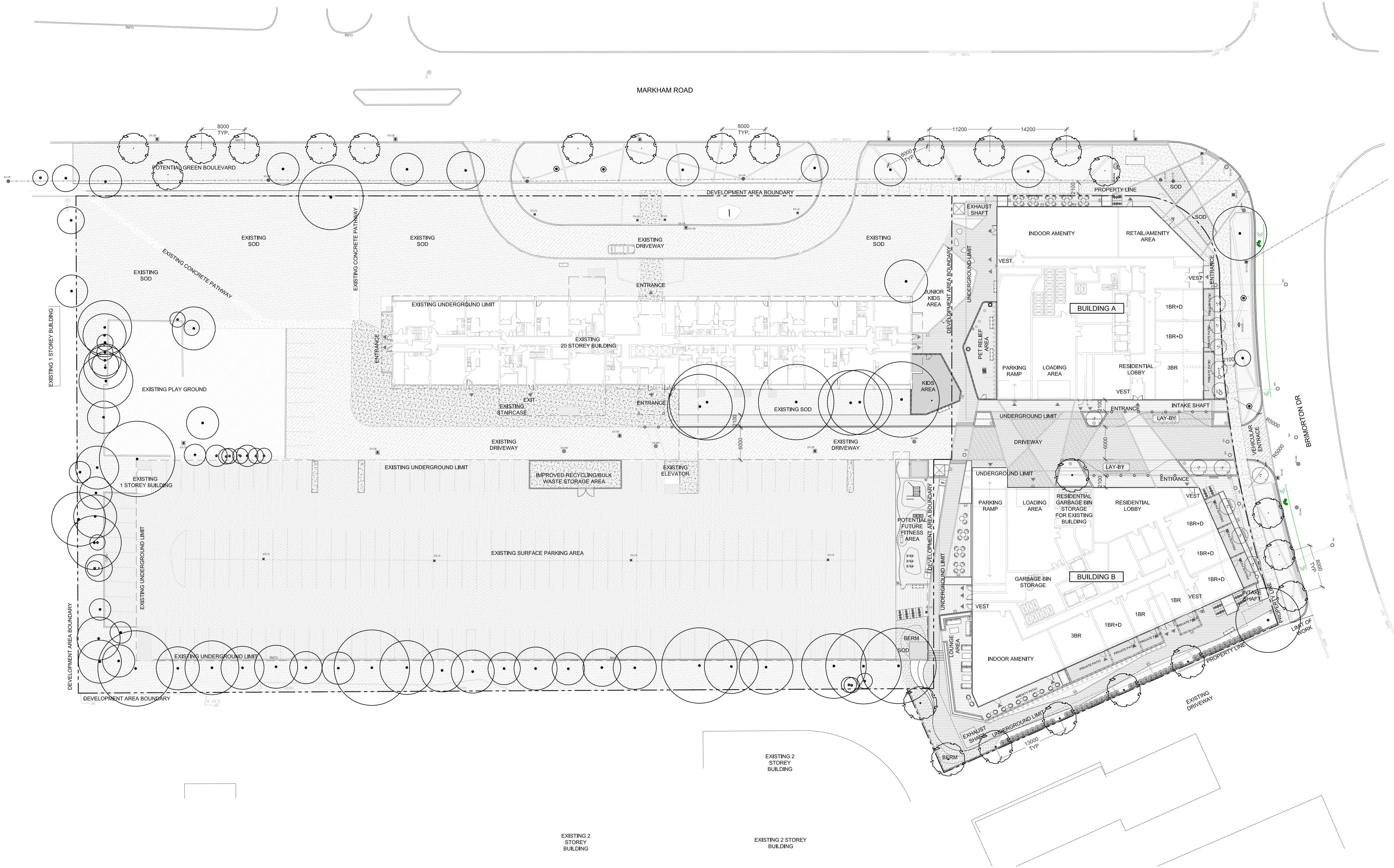
416.861.9404

KEY PLAN



DRAWING LIST

L0	Overall Site Landscape Plan
L1	TGS Soil Volume & UHI Paving Plan
L1a	Ground Floor Landscape Plan
L2	Public Utility Overlay Plan
L3	Ground Floor Planting Plan
L4a	Ground Floor Lighting Plan & Details
L5a	2nd Floor Outdoor Amenity Terrace Landscape Plan
L6	Green Roof Plan and Details
L7a	Streetscape Sections
L7b	Streetscape Sections
TP1	Tree Preservation Plan
TP2	Tree Preservation Tables, Images, and Details



Key Plan

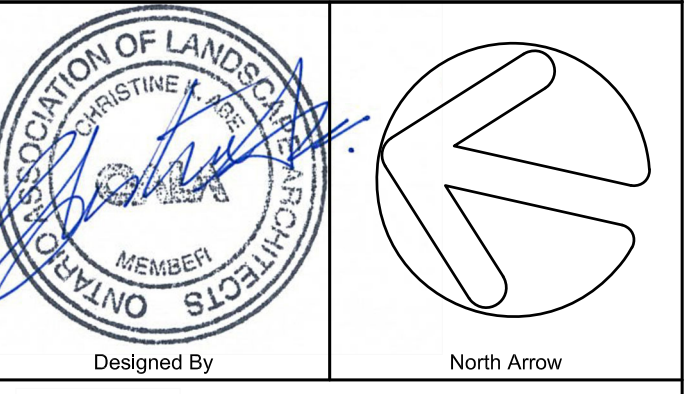


Legend

- PROPOSED DECIDUOUS TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED CONIFEROUS/GRASS PLANTING
- EXISTING TREES TO REMAIN
- PROPOSED VINE PLANTING
- PROPOSED GROUND COVER AND SHRUB PLANTING
- PROPOSED SOD
- PROPOSED PEDESTRIAN PRECAST CONCRETE UNIT PAVING
- PROPOSED VEHICULAR PRECAST CONCRETE UNIT PAVING
- PROPOSED CONCRETE PAVING
- PROPOSED VEHICULAR CONCRETE PAVING
- PROPOSED ARTIFICIAL TURF PROPOSED RUBBERIZED SURFACE
- EXISTING CONCRETE EXISTING ASPHALT
- PROPOSED CATCHBASINS
- PROPOSED MANHOLES
- PROPOSED BIKE RACK
- PROPOSED BENCH
- PROPOSED CHAIR AND TABLES
- PROPOSED VEHICULAR GRADE ROLLERS
- PROPOSED FENCES
- PROPOSED AREA DRAIN
- PROPOSED TRENCH DRAIN
- PROPOSED SWALE CONNECTION
- PROPOSED LIGHT FIXTURES
- EXISTING CATCHBASINS
- EXISTING MANHOLES
- EXISTING FIRE HYDRANTS
- EXISTING HYDRO POLE
- EXISTING LIGHT STANDARD
- EXISTING HYDRO POLE
- EXISTING AIR SHUNT
- EXISTING HAND WELL

1.0	06.07.2024	ISSUED FOR ZBA SUBMISSION #1	GM
No	Date	Revisions	By

This drawing is an impression of services to be provided by, and is the property of, the MBTW Group. The contractor shall check and verify all dimensions and report all errors and variations to the landscape architect within 48 hours of receipt of the drawing. Before proceeding with the work, the drawing must be approved by the architect.



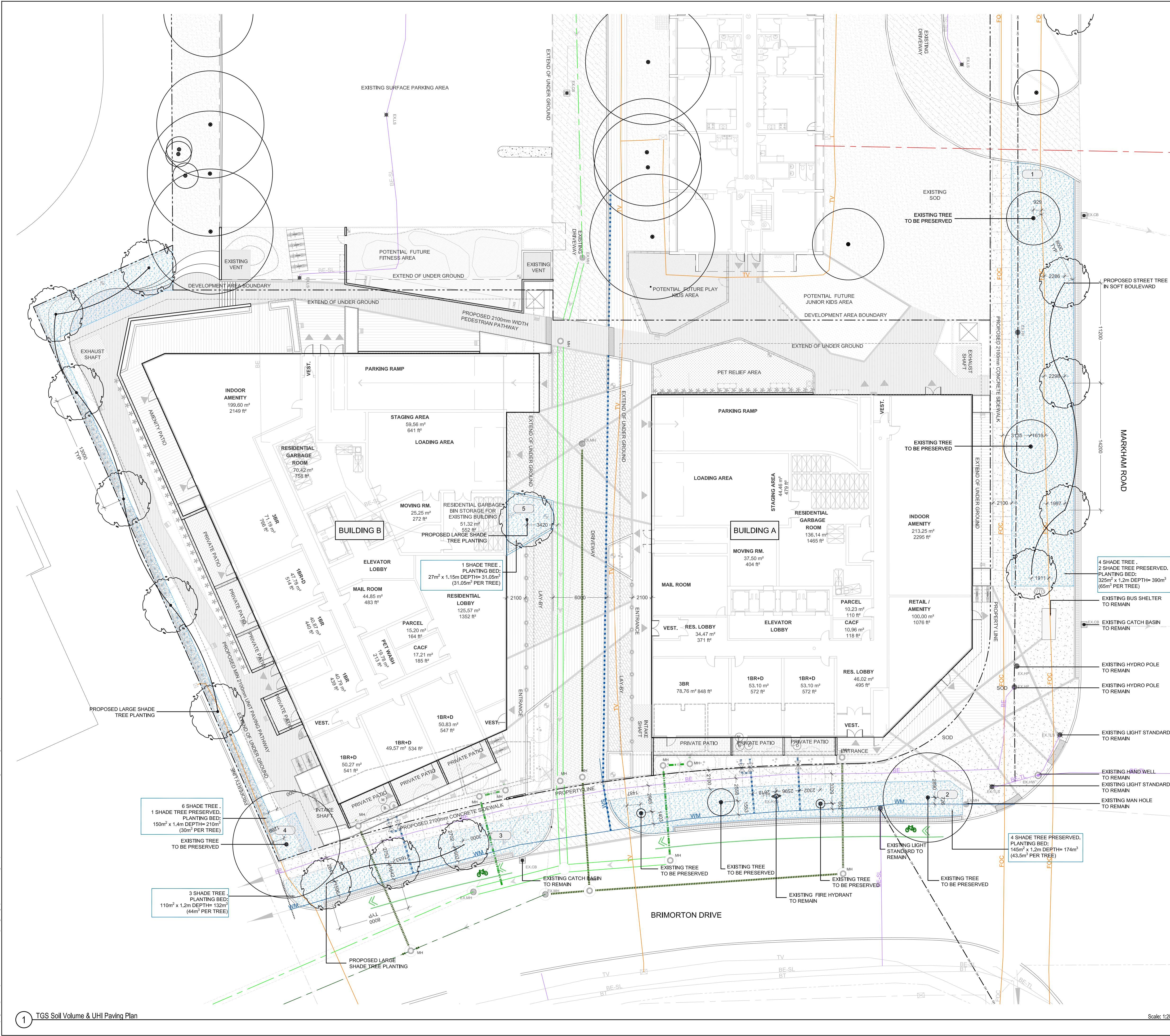
Designed By
Canadian Apartment Properties Reit

the mbtw group
landscape architecture | urban design | design advisory | construction | light design | interior design
255 Wilsket Road, Unit 14 | Toronto, Ontario, Canada M6H 1G8
T: (416) 448-7767 | F: (416) 448-1883 | www.mbtw-ast.com

Project Name:
1050 Markham Road
City of Toronto

Sheet Title:
Overall Site Landscape Plan

Designed: SM	Drawn: PP	Scale: AS SHOWN	Drawing No.: L0
Date of Drawing: January 2024	Job No.: CRT001		



THE QL-B UTILITY SURVEY DATA PROVIDED (FEB 24, 2024) , BY INFRASTRUCTURE INTELLIGENT SERVICES INC.
PLEASE REFER TO SECTIONS AND PLANS CONFIRMING MINIMUM REQUIRED CLEARANCES AS PER CITY OF TORONTO'S APPENDIX O "VERTICAL AND HORIZONTAL CLEARANCE GUIDELINES".

WATER EFFICIENCY NOTE:
• TOTAL AREA OF PROPOSED LANDSCAPE = 1843.9m²
• IRRIGATION TO BE PROVIDED FOR ALL PLANTING AREAS.

TREE PLANTING NOTE:
• ALL NEW / RETAINED LARGE SHADE TREES WILL BE PROVIDED WITH 30m3 OF APPROVED SOIL IN CONTINUOUS SOIL TRENCHES AS REQUIRED BY THE CITY OF TORONTO.
• ALL TREES WITHIN BOULEVARD & PRIVATE BLOCK TO HAVE 4 YEAR WARRANTY AND WATERING PROGRAM.

Existing Utility Legend

*Clearance Guidelines as per City of Toronto Appendix O:
V=Vertical, H=Horizontal

Orange	Bell Canada Conduit Clearance (V=600mm,H=600mm)*
Blue	Water Main Clearance (V=300mm,H=750mm)*
Green	Combined Sewer Clearance (V=500mm,H=900mm)*
Purple	T.H.E.S. Conduit (V=300mm,H=600mm)*
Light Green	Storm Sewer Clearance V=300mm,H=750mm)*
Red	Gas Main Clearance (V=300mm,H=600mm)*

Toronto
Toronto Green Standard Version 4.0
Soil Volume List - Public Property

Soil Area No.	Location (City ROW, private property)	Soil Area (m ²)	Soil Depth (m)	Tree Quantity	Soil Volume (m ³)	Long-term provided (Yes/No)	Hard Surface or Soft Surface	Soil Cols (Yes/No)	Notes
1	City ROW	251	1.2	282	4	65.00	Yes	SOFT SURFACE	No, 2 Trees Preserved
2	City ROW	241	1.2	174	4	43.92	Yes	SOFT SURFACE	No, 4 Trees Preserved
3	City ROW	130	1.2	122	4	44.64	Yes	SOFT SURFACE	No, 4 Trees Preserved
4	Private Property	100	1.2	100	4	48.00	Yes	SOFT SURFACE	No, 4 Trees Preserved
5	Private Property	100	1.2	100	4	48.00	Yes	SOFT SURFACE	No, 4 Trees Preserved
6	Private Property	100	1.2	100	4	48.00	Yes	SOFT SURFACE	No, 4 Trees Preserved

Toronto
Toronto Green Standard Version 4.0
Soil Volume List - Private Property

Soil Area No.	Location (City ROW, private property)	Soil Area (m ²)	Soil Depth (m)	Tree Quantity	Soil Volume (m ³)	Long-term provided (Yes/No)	Hard Surface or Soft Surface	Soil Cols (Yes/No)	Notes
4	Private Property	100	1.2	100	4	48.00	Yes	SOFT SURFACE	No, 4 Trees Preserved
5	Private Property	100	1.2	100	4	48.00	Yes	SOFT SURFACE	No, 4 Trees Preserved
6	Private Property	100	1.2	100	4	48.00	Yes	SOFT SURFACE	No, 4 Trees Preserved

Toronto
Statistics Template - Toronto Green Standard Version 4.0
Mid to High Rise Residential and all New Non-Residential Development

The Toronto Green Standard Version 4.0 Statistics Template is submitted with Site Plan Control Applications and stand-alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1.
For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.
For further information, please visit www.toronto.ca/development

General Project Description	Proposed
Total Gross Floor Area	39,911.1
Breakdown of project components (m ²)	
Residential	39,911.1
Retail	100.0
Commercial	
Industrial	
Institutional/Other	
Total number of residential units	635

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Use Emission Transportation	Required	Proposed	Proposed %
Number of Parking Spaces	24	208	652%
Number of EV Parking Spaces (Residential)	174	174	100%
Number of EV Parking Spaces (Non-residential)	0	0	

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (all-use)	432	446	103%
Number of long-term bicycle parking located on:			
a) first story of building	0	0	
b) second story of building	0	0	
c) first level below-ground	192	192	100%
d) second level below-ground	128	128	100%
e) other levels below-ground	120	120	100%

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces	45	50	111%
Number of shower and change facilities (non-residential)	N/A	0	

Tree Canopy	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area = 66 m ² x 30 m)	936.65	937.05	100%
Soil volume provided within the site area (m ³)		241.05	26%
Soil Volume provided within the public boulevard (m ³)		696	74%

Key Plan

Legend

- PROPOSED DECIDUOUS TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED CONIFEROUS/GRASS PLANTING
- EXISTING TREES TO REMAIN
- PROPOSED VINE PLANTING
- PROPOSED GROUNDCOVER AND SHRUB PLANTING
- PROPOSED SOD
- PROPOSED PEDESTRIAN PRECAST CONCRETE UNIT PAVING
- PROPOSED VEHICULAR PRECAST CONCRETE UNIT PAVING
- PROPOSED CONCRETE PAVING
- PROPOSED VEHICULAR CONCRETE PAVING
- PROPOSED ARTIFICIAL TURF
- PROPOSED RUBBERIZED SURFACE
- EXISTING CONCRETE
- EXISTING ASPHALT
- PROPOSED SOIL VOLUME AREA NUMBER

01 06.07.2024 ISSUED FOR ZBA SUBMISSION #1 GM

No	Date	Revisions	By
----	------	-----------	----

Designed By: [Signature]

North Arrow

Canadian Apartment Properties Reit

the mbtw group

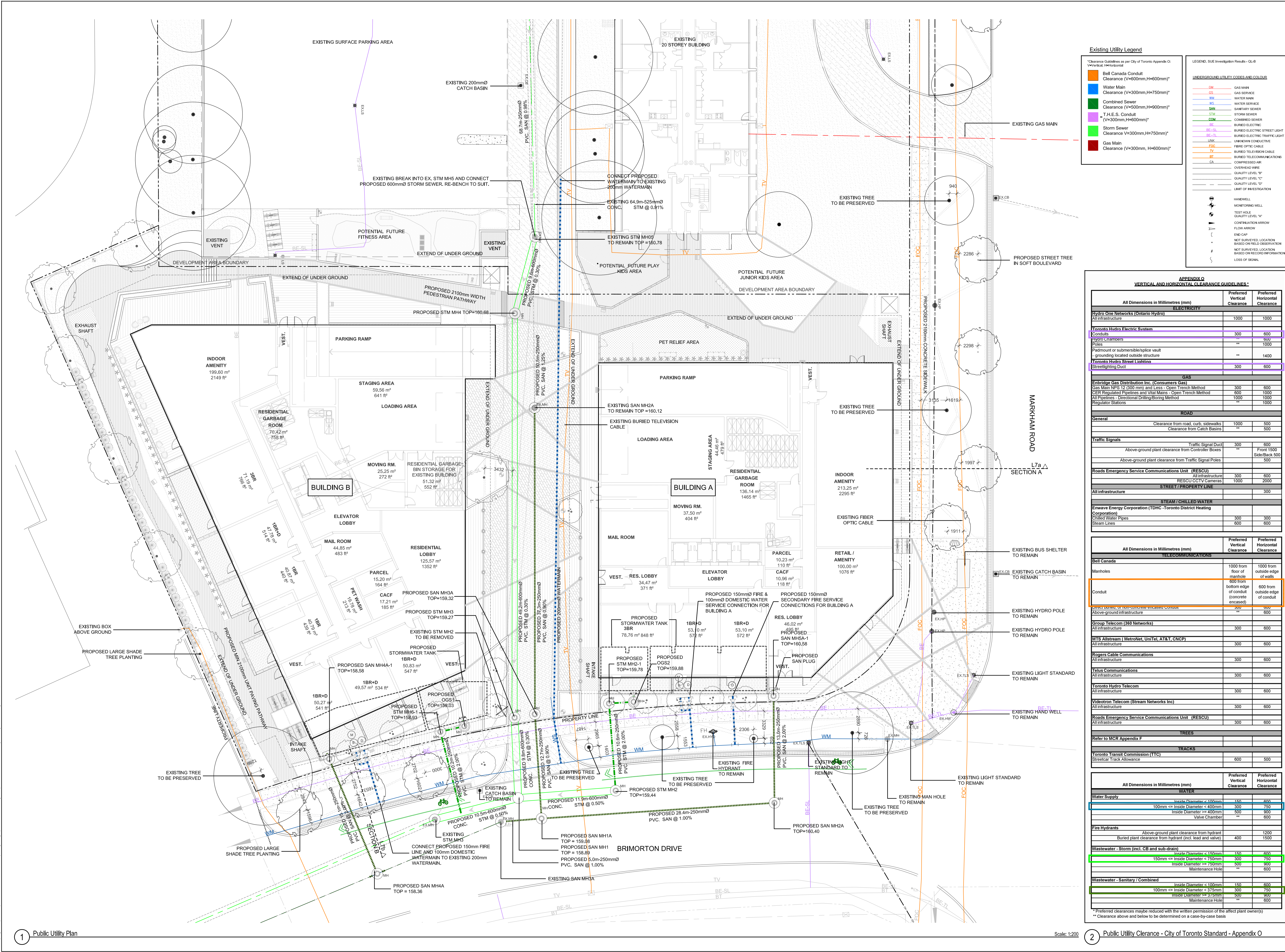
Project Name: 1050 Markham Road

City of Toronto

Sheet Title: TGS Soil Volume & UHI Paving Plan

Designed: SM	Drawn: PP	Scale: AS SHOWN	Drawing No.: L1
Date of Drawing: April 2024	Job No.: CRT001		

K:\Drawings\2024\A\A-B-C\TGS-1050-Markham-Road\1050-Markham-Road-TGS-Soil-Volume-Plan.dwg Jun 20, 2024 1:12:05pm



Existing Utility Legend

Clearance Guidelines as per City of Toronto Appendix O:
Vertical, Horizontal

- Orange: Bell Canada Conduit
Clearance (V=600mm, H=600mm)*
- Blue: Water Main
Clearance (V=300mm, H=750mm)*
- Green: Combined Sewer
Clearance (V=450mm, H=900mm)*
- Purple: T.H.E.S. Conduit
* (V=300mm, H=600mm)*
- Light Green: Storm Sewer
Clearance V=300mm, H=750mm)*
- Red: Gas Main
Clearance V=300mm, H=600mm)*

LEGEND, SUE Investigation Results - GL-B

UNDERGROUND UTILITY CODES AND COLOUR

- OM: GAS MAIN
- WM: WATER MAIN
- WM: WATER SERVICE
- SM: STORM SEWER
- COM: COMBINED SEWER
- BE-SL: BURIED ELECTRIC STREET LIGHT
- BE-TL: BURIED ELECTRIC TRAFFIC LIGHT
- UNK: UNKNOWN CONDUCTIVE
- FOC: FIBRE OPTIC CABLE
- TV: BURIED TELEVISION CABLE
- BT: BURIED TELECOMMUNICATIONS
- CA: COMPRESSED AIR
- OVERHEAD WIRE
- QUALITY LEVEL "B"
- QUALITY LEVEL "C"
- QUALITY LEVEL "D"
- LIMIT OF INVESTIGATION

Handwell

- Monitoring Well
- Test Hole
- Continuation Arrow
- Flow Arrow
- End Cap
- NOT SURVEYED LOCATION BASED ON FIELD OBSERVATION
- NOT SURVEYED LOCATION BASED ON RECORD INFORMATION
- LOSS OF SIGNAL

**APPENDIX O
VERTICAL AND HORIZONTAL CLEARANCE GUIDELINES***

All Dimensions in Millimetres (mm)	Preferred Vertical Clearance	Preferred Horizontal Clearance
ELECTRICITY		
Hydro One Networks (Ontario Hydro)	1000	1000
All Infrastructure		
Toronto Hydro Electric System	300	600
Hydro Chambers	**	600
Pipes	**	1000
Padmount or submersible/splice vault - grounding located outside structure	**	1400
Toronto Hydro Street Lighting	300	600
Streetlighting Duct	300	600
GAS		
Enbridge Gas Distribution Inc. (Consumers Gas)		
Gas Main NPS 12 (300 mm) and Less - Open Trench Method	300	600
CER Regulated Pipelines and Vital Mains - Open Trench Method	600	1000
All Pipelines - Directional Drilling/Boiling Method	1000	1000
Regulator Stations	**	1000
ROAD		
General		
Clearance from road, curb, sidewalks	1000	500
Clearance from Catch Basins	**	500
Traffic Signals		
Traffic Signal Duct	300	600
Above-ground plant clearance from Controller Boxes	**	Front 1500 Side/Back 500
Above-ground plant clearance from Traffic Signal Poles	**	500
Roads Emergency Service Communications Unit (RESCU)		
All Infrastructure	300	600
RESCU CCTV Cameras	1000	2000
STREET / PROPERTY LINE		
All Infrastructure		300
STEAM / CHILLED WATER		
Enwave Energy Corporation (TDHC - Toronto District Heating Corporation)		
Chilled Water Pipes	300	300
Steam Lines	600	600
TELECOMMUNICATIONS		
All Dimensions in Millimetres (mm)	Preferred Vertical Clearance	Preferred Horizontal Clearance
Bell Canada		
Manholes	1000 from floor of manhole	1000 from outside edge of walls
Conduit	600 from bottom edge of conduit (concrete encased)	300 from outside edge of conduit (concrete encased)
Direct buried, or non-concrete encased conduit	**	600
Above-ground infrastructure	**	600
Group Telecom (360 Networks)	300	600
All Infrastructure	300	600
MTS Allstream (MetroNet, UniTel, AT&T, CNCP)	300	600
All Infrastructure	300	600
Rogers Cable Communications	300	600
All Infrastructure	300	600
Telus Communications	300	600
All Infrastructure	300	600
Toronto Hydro Telecom	300	600
All Infrastructure	300	600
Videotron Telecom (Stream Networks Inc)	300	600
All Infrastructure	300	600
Roads Emergency Service Communications Unit (RESCU)	300	600
All Infrastructure	300	600
TREES		
Refer to MCR Appendix F		
TRACKS		
Toronto Transit Commission (TTC)		
Streetcar Track Allowance	600	500
WATER		
All Dimensions in Millimetres (mm)	Preferred Vertical Clearance	Preferred Horizontal Clearance
Water Supply		
Inside Diameter < 100mm	150	600
100mm <= Inside Diameter < 400mm	300	750
Inside Diameter < 250mm	300	600
Valve Chamber	**	600
Fire Hydrants		
Above-ground plant clearance from hydrant	400	1200
Buried plant clearance from hydrant (incl. lead and valve)	400	1500
Wastewater - Storm (incl. CB and sub-drain)		
Inside Diameter < 150mm	150	600
150mm <= Inside Diameter < 375mm	300	750
Inside Diameter >= 750mm	500	600
Maintenance Hole	**	600
Wastewater - Sanitary / Combined		
Inside Diameter < 100mm	150	600
100mm <= Inside Diameter < 375mm	300	750
Inside Diameter >= 375mm	500	600
Maintenance Hole	**	600

* Preferred clearances may be reduced with the written permission of the affected plant owner(s)
** Clearance above and below to be determined on a case-by-case basis

Key Plan

Legend

- MH: PROPOSED MANHOLE BY CIVIL ENGINEER
- EX-CB: EXISTING CATCH BASIN
- EX-MH: EXISTING MANHOLE
- SS: PROPOSED STORM SEWER BY CIVIL ENGINEER
- SS: PROPOSED SANITARY SEWER BY CIVIL ENGINEER
- WM: PROPOSED WATERMAIN BY CIVIL ENGINEER
- V&B: PROPOSED VALVE AND BOX BY CIVIL ENGINEER
- D B M: PROPOSED DETECTOR ASSEMBLY BACKFLOW PREVENTOR, WATER METER BY CIVIL ENGINEER

NOTE:
THE OL-A UTILITY SURVEY DATA PROVIDED (MAY 01, 2024), BY INFRASTRUCTURE INTELLIGENT SERVICES INC.
PLEASE REFER TO SECTIONS AND PLANS CONFIRMING MINIMUM REQUIRED CLEARANCES AS PER CITY OF TORONTO'S APPENDIX O "VERTICAL AND HORIZONTAL CLEARANCE GUIDELINES".

No	Date	Revisions	By
1.0	00.00.2024	ISSUED FOR ZBA/SPA SUBMISSION	GM

Designed By: [Signature]
North Arrow: [Arrow]

Canadian Apartment Properties Reit

the mbtw group
255 Wilewood Ave., Unit 14 | Toronto, Ontario, Canada M6H 1S8
T: (416) 448-7767 | F: (416) 448-1053 | www.mbtw-ast.com

Project Name:
1050 Markham Road
City of Toronto

Sheet Title:
Public Utility Overlay Plan

Designed: SM	Drawn: PP	Scale: AS SHOWN	Drawing No.: L2
Date of Drawing: April 2024	Job No.: CRT001		

Key	Botanical Name	Common Name	Cal.	Ht.	Spread	Cond.	Remarks	Total
Large Deciduous Trees								
Ta	Tilia americana	Basswood	70mm			W.B.	Uniform Specimen	3
Af	Acer x freemannii 'Jeffersred'	Autumn Blaze Maple	70mm			W.B.	Uniform Specimen	2
Gt	Gleditsia triacanthos var. inermis 'Sunburst'	Sunburst Honeylocust	70mm			W.B.	Uniform Specimen	2

2 Planting List - Ground Floor - ROW Trees

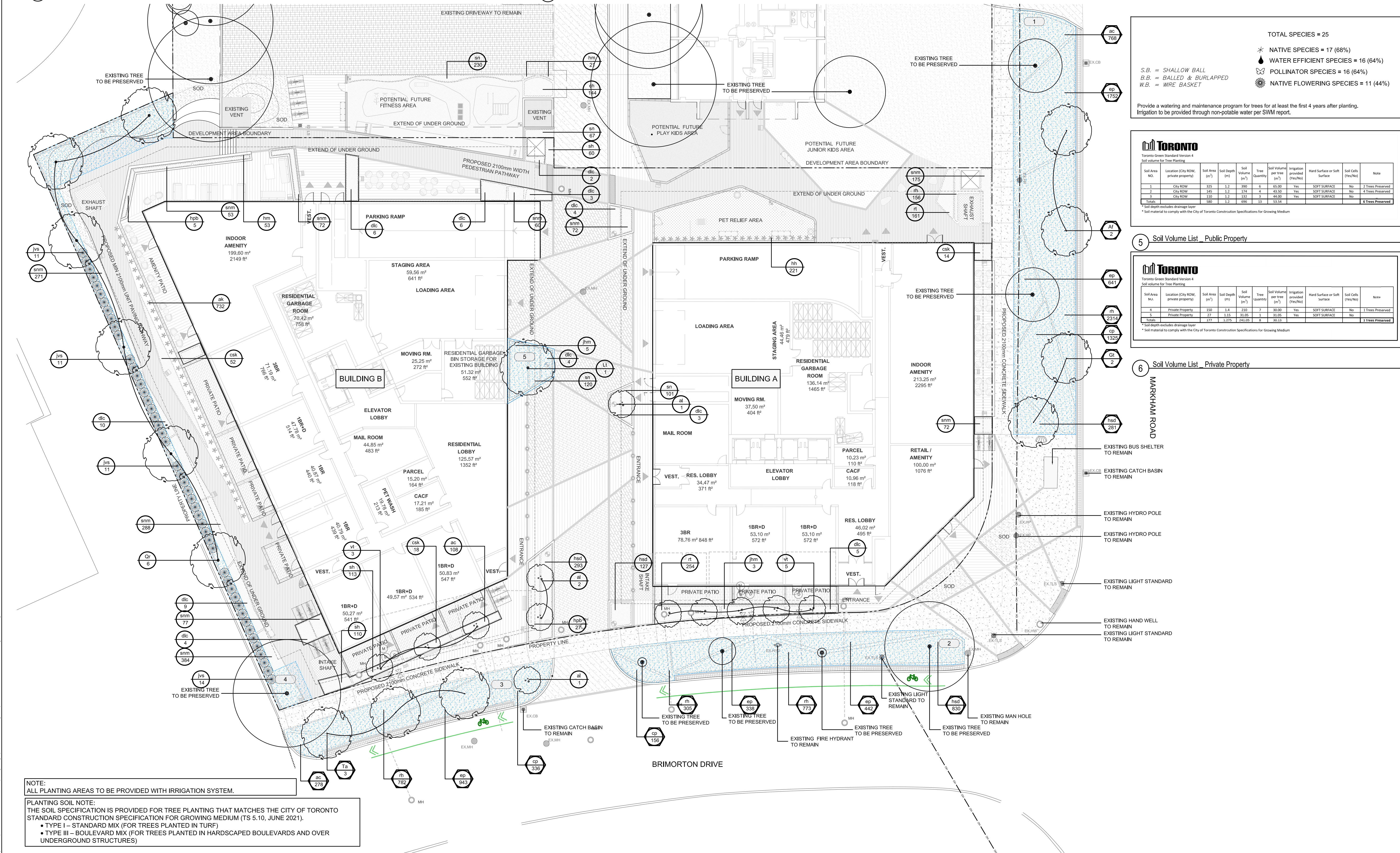
Key	Botanical Name	Common Name	Cal.	Ht.	Spread	Cond.	Remarks	Total
Large Deciduous Trees								
Or	Quercus rubra	Red Oak	70mm			W.B.	Uniform Specimen	6
Lt	Liriodendron tulipifera	Tulip Tree	70mm			W.B.	Uniform Specimen	1

3 Planting List - Ground Floor - Private Trees

Key	Botanical Name	Common Name	Cal.	Ht.	Spread	Cond.	Remarks	Total
Large Ornamental Deciduous Shrubs								
vt	Viburnum trilobum	Highbush Cranberry		2.5m		W.B	Multistem	8
al	Amelanchier leavis	Allegheny Serviceberry		2.5m		W.B	Multistem	4
Deciduous Shrubs								
dlc	Deutzia x lemoinei 'Compacta'	Compact Deutzia		60cm	3 Gal pot.		Uniform Specimen	56
csk	Cornus sericea 'Kelsey'	Kelsey Red Osier Dogwood		60cm	3 Gal pot.		Uniform Specimen	84
hpb	Hydrangea paniculata 'Bokraftme'	Magical Candle Hydrangea		60cm	3 Gal pot.		Uniform Specimen	32
Large Coniferous Shrubs								
jvs	Juniperus virginiana 'Skyrocket'	Skyrocket Juniper		60cm	3 Gal pot.		Uniform Specimen	47
Coniferous Shrubs								
jhm	Juniperus horizontalis 'Mother Lode'	Mother Lode Juniper		60cm	3 Gal pot.		Uniform Specimen	8

4 Planting List - Ground Floor - Shrubs and Perennials

Key	Botanical Name	Common Name	Cal.	Ht.	Spread	Cond.	Remarks	Total
Perennials								
ac	Anemone canadensis	Canada Anemone		15cm		1 Gal pot.	Uniform Specimen	1154
rt	Rudbeckia triloba	Three Lobed Coneflower		15cm		1 Gal pot.	Uniform Specimen	415
snm	Salvia nemorosa 'Marcus'	Marcus Meadow Sage		15cm		1 Gal pot.	Uniform Specimen	1524
rh	Rudbeckia hirta	Black-eyed Susan		15cm		1 Gal pot.	Uniform Specimen	4330
sn	Sorghastrum nutans	Indian grass		15cm		1 Gal pot.	Uniform Specimen	518
hm	Hakonechloa macra	Japanese forest grass		15cm		1 Gal pot.	Uniform Specimen	74
ch	Carex haydenii	Hayden's Sedge		15cm		1 Gal pot.	Uniform Specimen	144
sh	Sporobolus heterolepis	Prairie Dropseed		15cm		1 Gal pot.	Uniform Specimen	283
ak	Actinidia Kolomikta (Male)	Variegated Kiwi Vine		15cm		1 Gal pot.	Uniform Specimen	732
cp	Carex pensylvanica	Oak sedge		15cm		1 Gal pot.	Uniform Specimen	1817
ep	Echinacea purpurea	Purple coneflower		15cm		1 Gal pot.	Uniform Specimen	4116
hh	Hedera helix 'baltica'	Baltic Ivy		15cm		1 Gal pot.	Uniform Specimen	221
hsd	Hemerocallis 'Stella de Oro'	Stella D'Oro Reblooming Daylily		15cm		1 Gal pot.	Uniform Specimen	1531

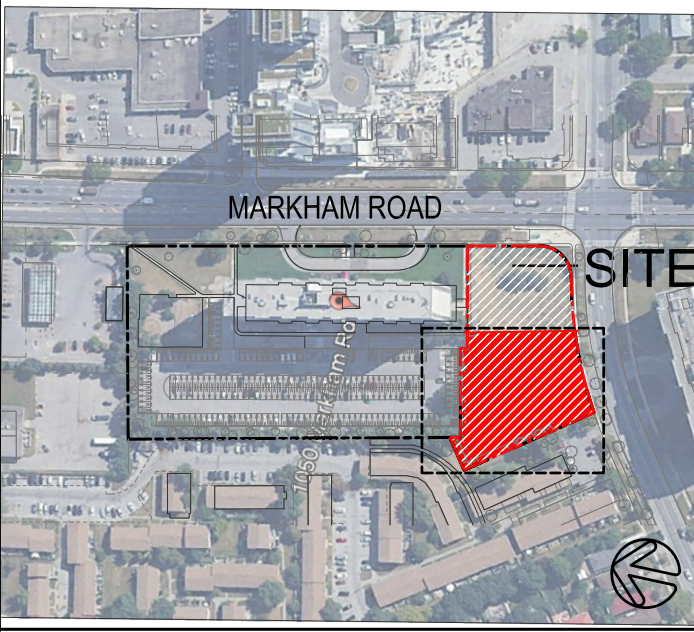


NOTE:
ALL PLANTING AREAS TO BE PROVIDED WITH IRRIGATION SYSTEM.

PLANTING SOIL NOTE:
THE SOIL SPECIFICATION IS PROVIDED FOR TREE PLANTING THAT MATCHES THE CITY OF TORONTO STANDARD CONSTRUCTION SPECIFICATION FOR GROWING MEDIUM (TS 5.10, JUNE 2021).
• TYPE I – STANDARD MIX (FOR TREES PLANTED IN TURF)
• TYPE III – BOULEVARD MIX (FOR TREES PLANTED IN HARDSCAPED BOULEVARDS AND OVER UNDERGROUND STRUCTURES)

Scale: 1:200

Key Plan



Legend

- PROPOSED DECIDUOUS TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED CONIFEROUS SHRUB/GRASS PLANTING
- EXISTING TREES TO REMAIN
- PROPOSED VINE PLANTING
- PROPOSED GROUND COVER AND SHRUB PLANTING
- PROPOSED PLANTING KEY
- PROPOSED ROW PLANTING KEY
- PROPOSED SOIL VOLUME AREA NUMBER
- PROPOSED LIMIT OF CONTINUOUS SOIL VOLUME

1.0	06.07.2024	ISSUED FOR ZBA SUBMISSION #1	GM
-----	------------	------------------------------	----

No	Date	Revisions	By

Designed By

North Arrow

Canadian Apartment Properties Reit

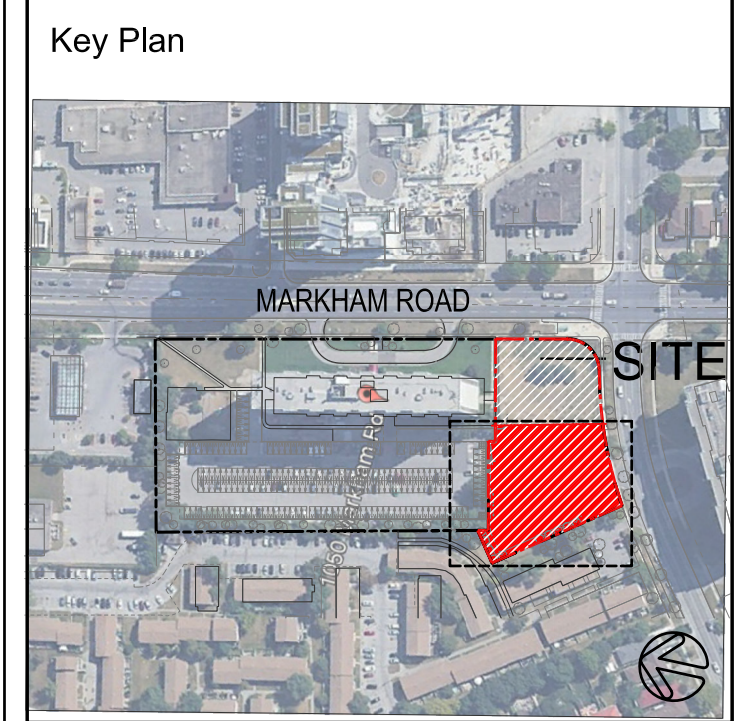
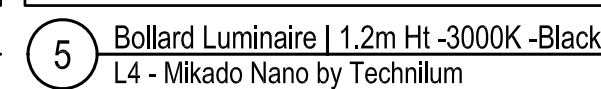
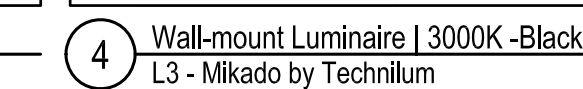
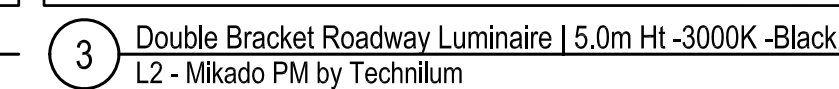
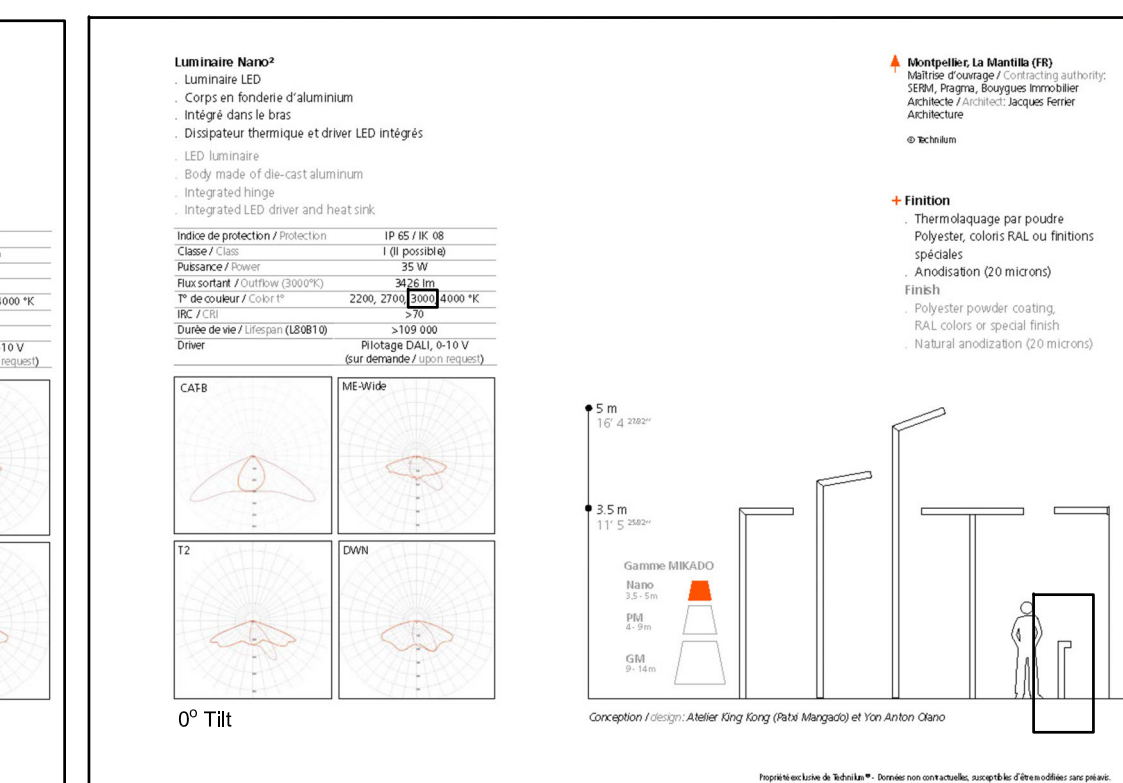
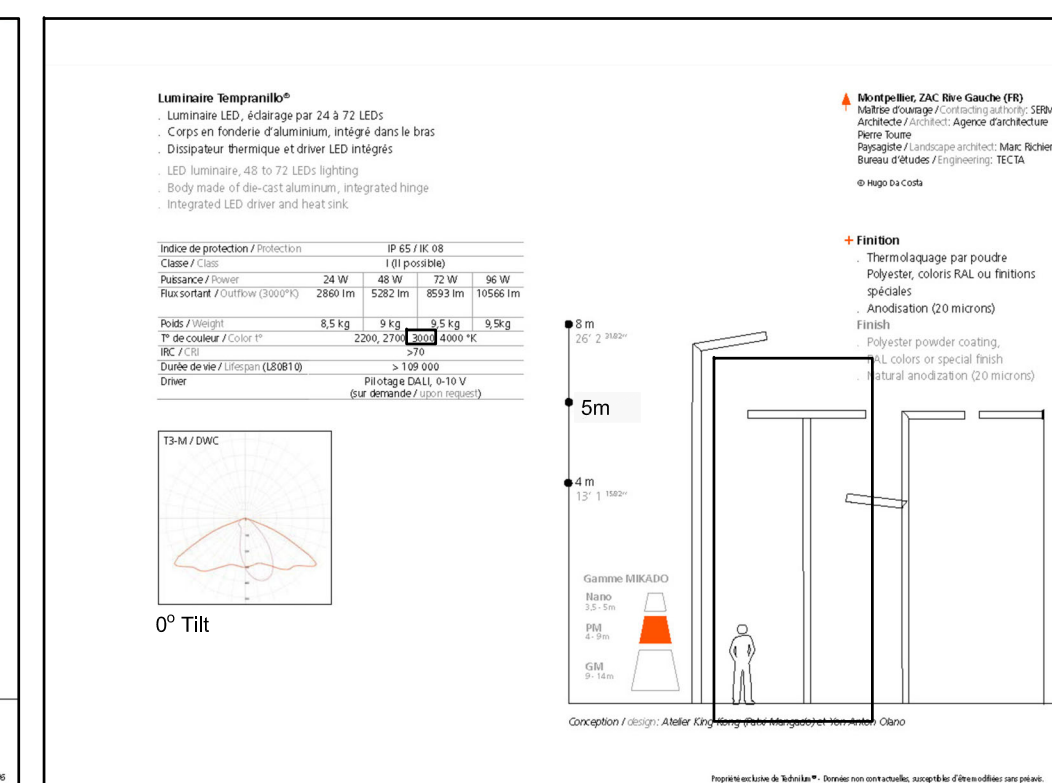
the mbtw group
mbtw architects | urban design | design advisory | construction | gfi design | interior design
255 Wilsdale Ave., Unit 14 | Toronto, Ontario, Canada M6H 1S8
T: (416) 448-7767 | F: (416) 448-1883 | www.mbtw-nd.com

Project Name:
1050 Markham Road
City of Toronto






Sheet Title:
Ground Floor Planting Plan

Designed: SM	Drawn: PP	Scale: AS SHOWN	Drawing No.: L3
Date of Drawing: April 2024	Job No.: CRT001		

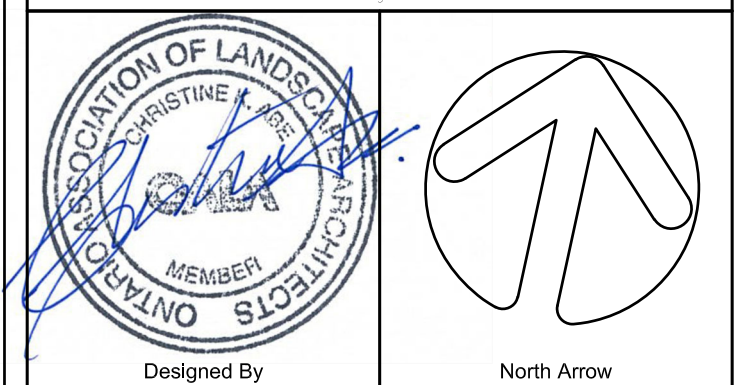
K:\Drawings\2024\A-B-C\1050 Markham RD - MBTW-Draw\1050-10-2024-Progress\1050-1.3_Ground Floor Planting Plan-4.dwg, Jun 20, 2024, 11:02am



Legend

-  **L1a** SINGLE BRACKET LUMINAIRE
MKADO BY TECHNIMIL
3.5m HEIGHT | 35W | FINISH: BLACK
-  **L1b** SINGLE BRACKET LUMINAIRE
MKADO BY TECHNIMIL
3.5m HEIGHT | 15W | FINISH: BLACK
-  **L2** DOUBLE BRACKET ROADWAY LUMINAIRE
MKADO BY TECHNIMIL
5.0m HEIGHT | FINISH: BLACK
-  **L3** WALL-MOUNT LUMINAIRE
MKADO BY TECHNIMIL
FINISH: BLACK
-  **L4** BOLLARD LUMINAIRE
MKADO BY TECHNIMIL
1.2m HEIGHT | FINISH: BLACK

1.0	06.07.2024	ISSUED FOR ZBA SUBMISSION #1	GM
No	Date	Revisions	By



Project Name:

1050 Markham Road

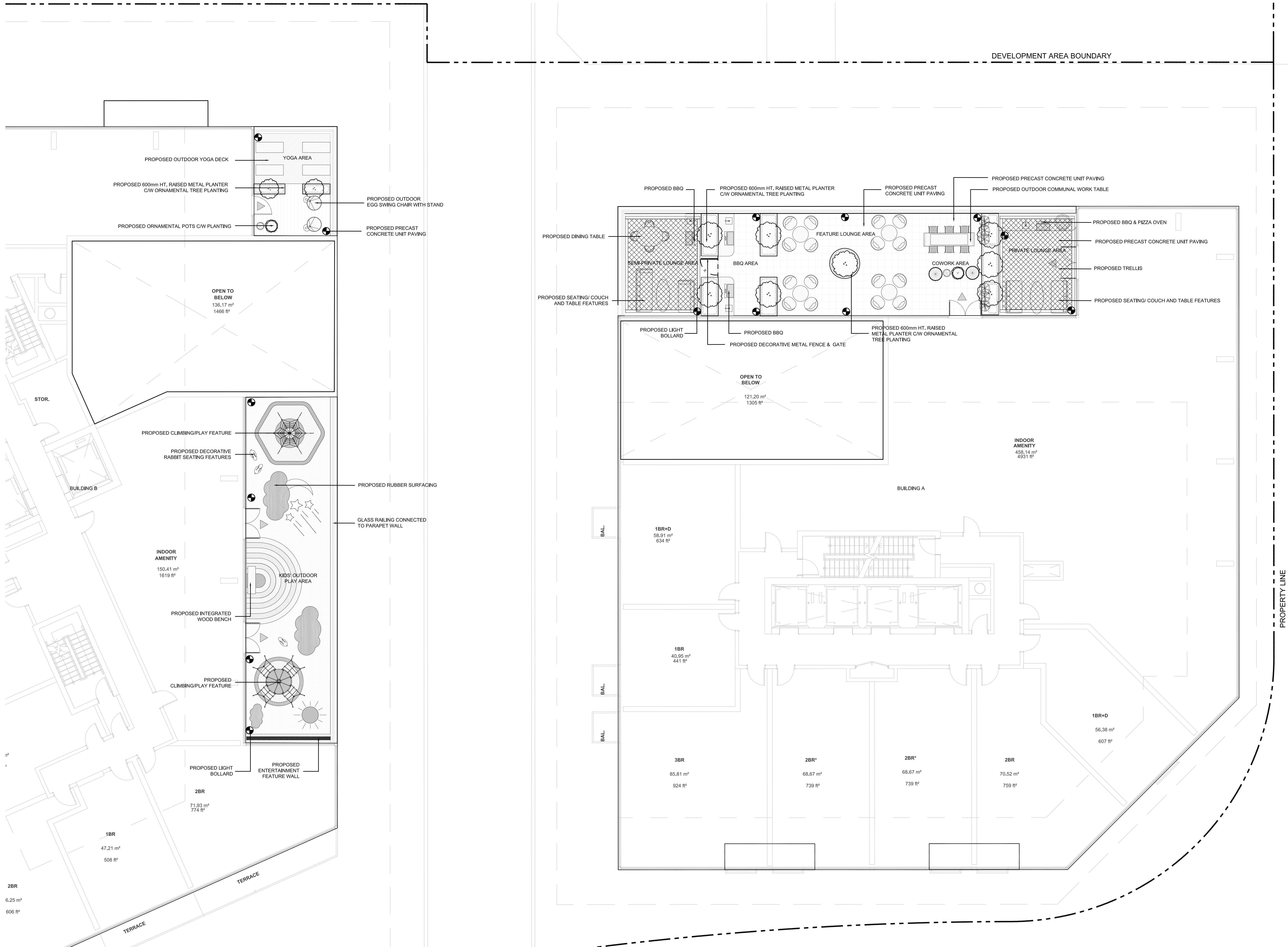
City of Toronto

Sheet Title:

Ground Floor Lighting Plan
and Details

Designed: SM	Drawn: PP	Scale: AS SHOWN	Drawing No.: L4a
Date of Drawing: January 2024		Job No.: CRT001	

K:\Drawings\2024\A-B-C\CRT001 - 1050 Markham RD - 2nd Floor Outdoor Amenity Terrace Landscape Plan.dwg Jun 06, 2024 -- 12:24pm



Key Plan

Legend

PROPOSED CONIFEROUS TREES

PROPOSED ORNAMENTAL VASES

PROPOSED DECORATIVE LARGE POTS

Designed By

North Arrow

Canadian Apartment Properties REIT

the mbtw group
Interior architecture | Urban design | Design delivery | Construction | GFI design | Interior design
255 Wiskind Ave., Unit 14 | Toronto, Ontario, Canada M6H 1G8
T: (416) 449-7767 | F: (416) 449-1883 | www.mbtw-est.com

Project Name:

1050 Markham Road

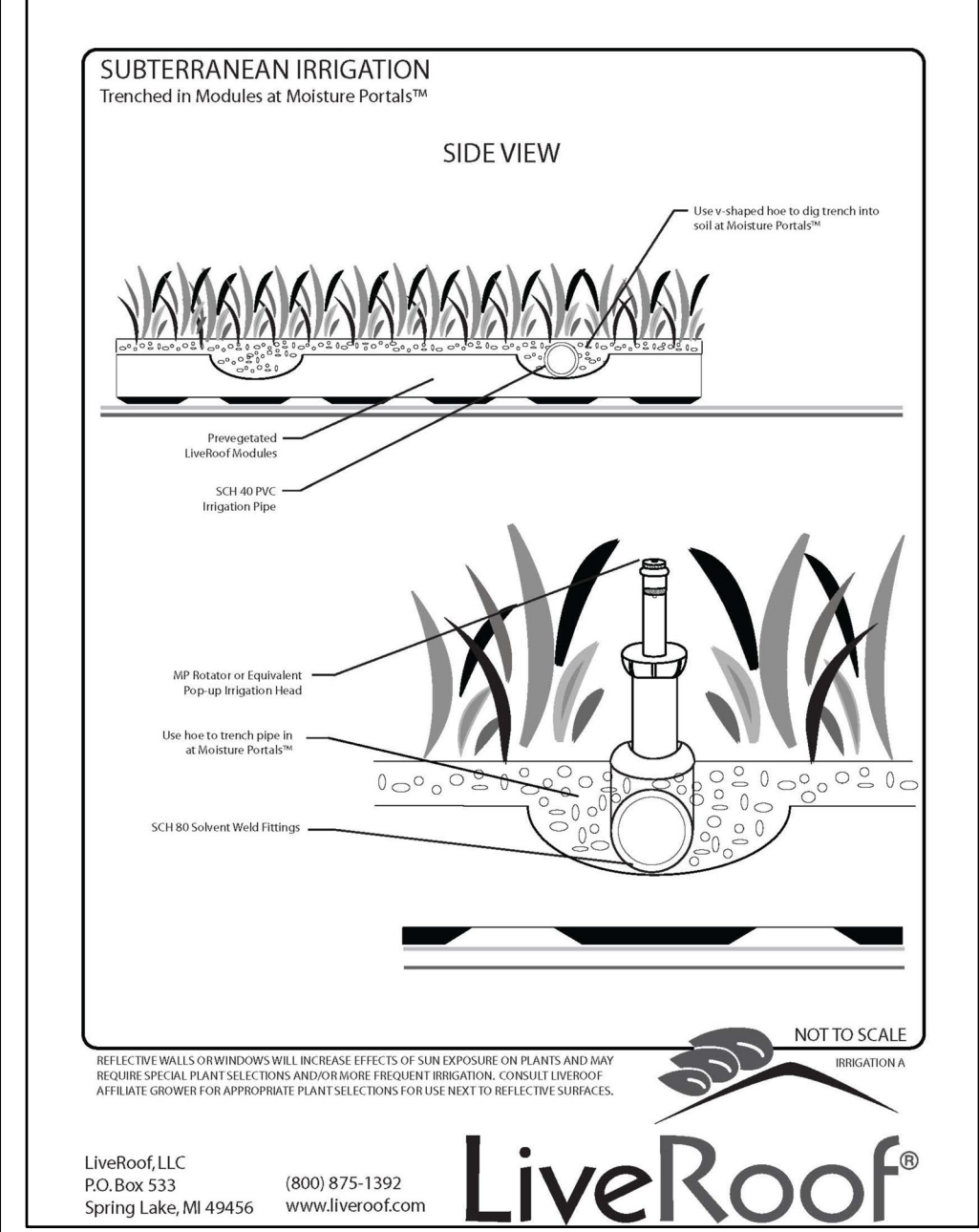
City of Toronto

Sheet Title:

2nd Floor Outdoor Amenity Terrace Landscape Plan

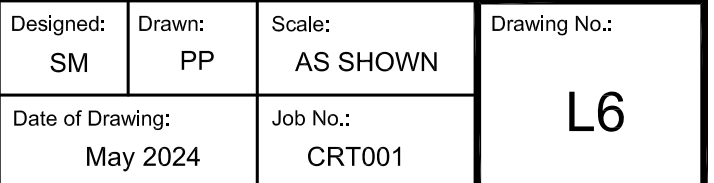
1 2nd Floor Outdoor Amenity Terrace Landscape Plan

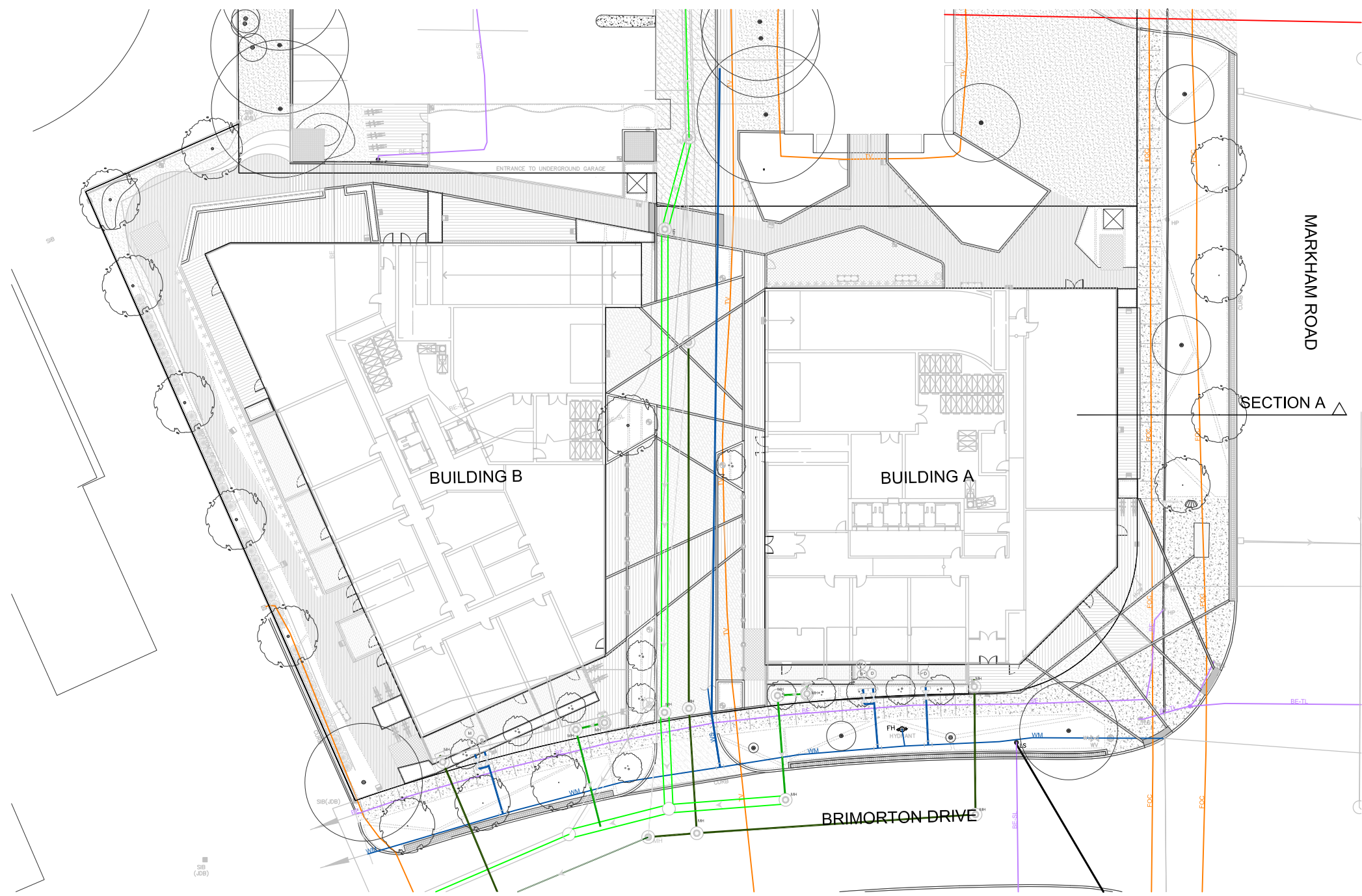
Scale: 1:100



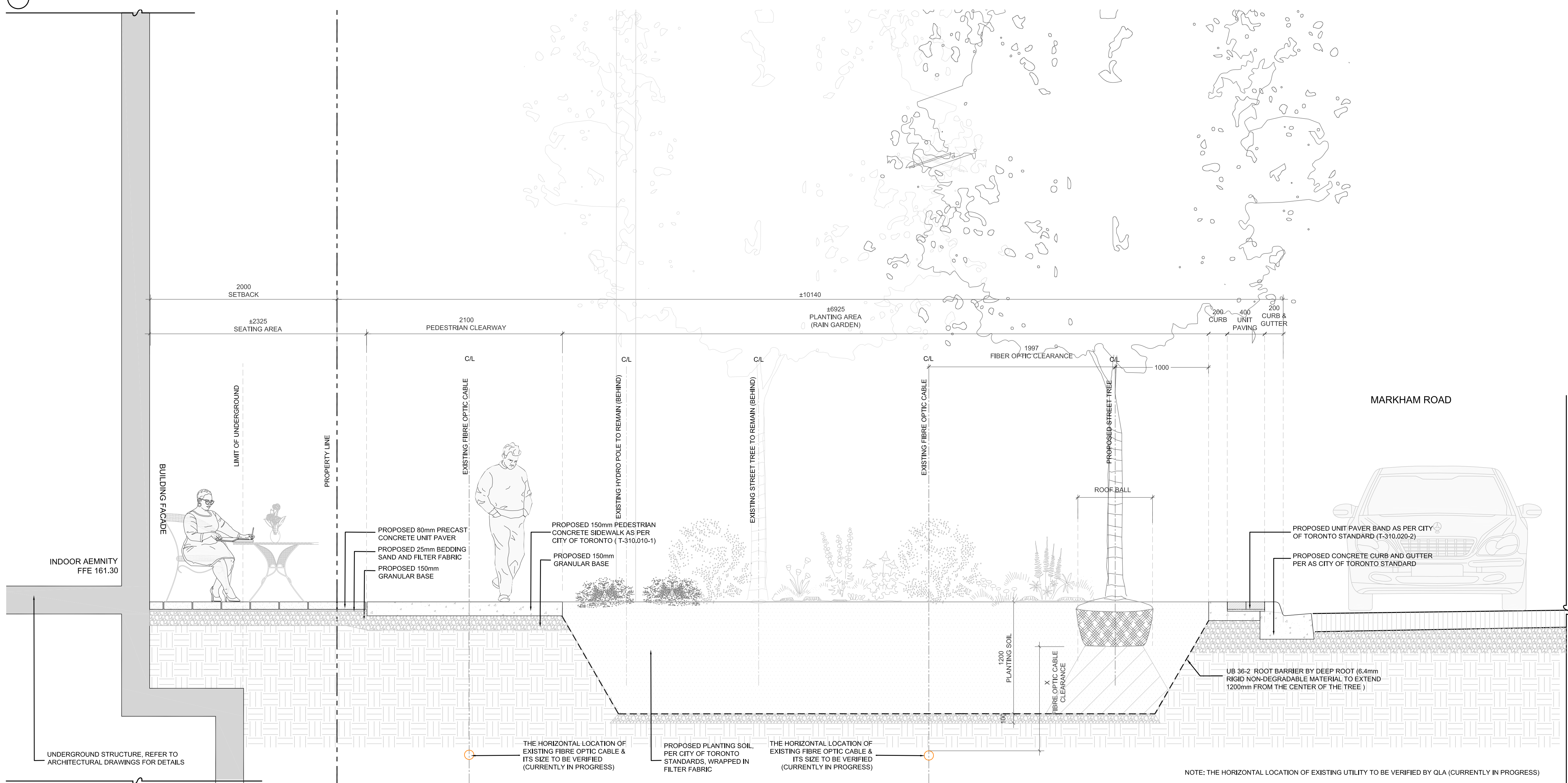
Available Roof Space Calculation

2 Green Roof Statistics





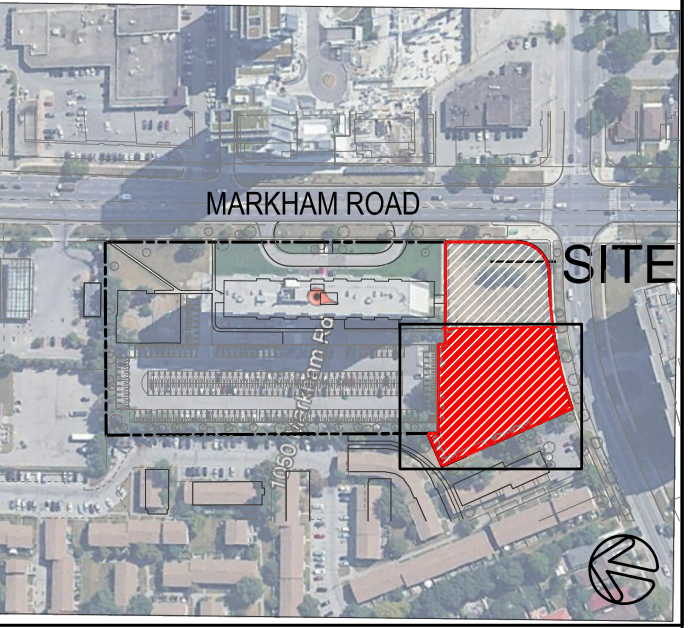
Key Plan
Scale: 1:500



1 Landscape Section A - Markham Road Streetscape

Scale: 1:25

Key Plan



Legend

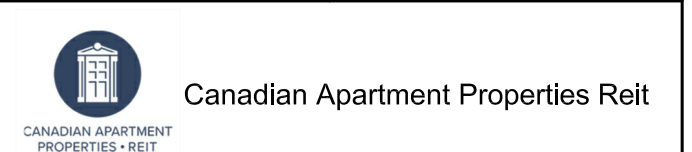
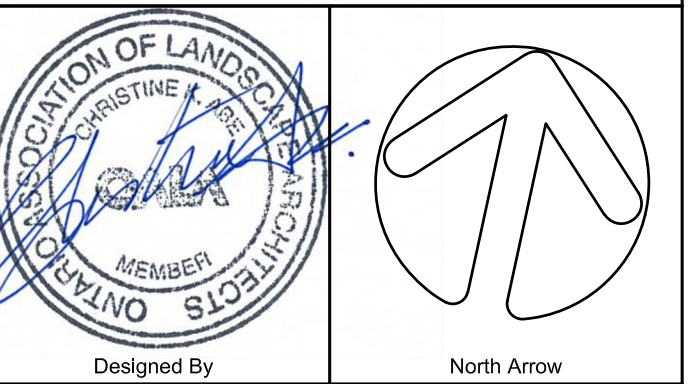
*Clearance Guidelines as per City of Toronto Appendix C:

V=Vertical, H=Horizontal

- Orange: Bell Canada Conduit
Clearance (V=600mm, H=600mm)*
- Blue: Water Main
Clearance (V=300mm, H=750mm)*
- Green: Combined Sewer
Clearance (V=500mm, H=900mm)*
- Purple: T.H.E.S. Conduit
(V=300mm, H=600mm)*
- Light Green: Storm Sewer
Clearance V=300mm, H=750mm)*
- Red: Gas Main
Clearance (V=300mm, H=600mm)*

1.0	06.07.2024	ISSUED FOR ZBA SUBMISSION #1	GM
No	Date	Revisions	By

This drawing is an impression of services as provided by, and is the property of, the MBTW Group. The contractor shall check and verify all dimensions and report all errors and omissions to the landscape architect within 10 days of the drawing before proceeding with the work. The drawing is not to be scaled.



Project Name:
1050 Markham Road
City of Toronto

Sheet Title:
Streetscape Sections

Designed: SM	Drawn: PP	Scale: AS SHOWN	Drawing No.: L7a
Date of Drawing: January 2024	Job No.: CRT001		

